



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held at the Civic Offices, Shute End, Wokingham, RG40 1BN on **WEDNESDAY 22 JUNE 2016 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Andy Couldrick'.

Andy Couldrick
Chief Executive
Published on 14 June 2016

This meeting will be filmed for inclusion on the Council's website.

Please note that other people may film, record, tweet or blog from this meeting. The use of these images or recordings is not under the Council's control.

Our Vision

A great place to live, an even better place to do business

Our Priorities

Improve educational attainment and focus on every child achieving their potential

Invest in regenerating towns and villages, support social and economic prosperity, whilst encouraging business growth

Ensure strong sustainable communities that are vibrant and supported by well designed development

Tackle traffic congestion in specific areas of the Borough

Improve the customer experience when accessing Council services

The Underpinning Principles

Offer excellent value for your Council Tax

Provide affordable homes

Look after the vulnerable

Improve health, wellbeing and quality of life

Maintain and improve the waste collection, recycling and fuel efficiency

Deliver quality in all that we do

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Tim Holton (Chairman)	Chris Singleton (Vice-Chairman)	Chris Bowring
Philip Houldsworth	John Kaiser	Malcolm Richards
Rachelle Shepherd-DuBey	Wayne Smith	Bill Soane

ITEM NO.	WARD	SUBJECT	PAGE NO.
11.		APOLOGIES To receive any apologies for absence.	
12.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 25 May 2016.	5 - 10
13.		DECLARATION OF INTEREST To receive any declaration of interest	
14.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
15.	Bulmershe and Whitegates	APPLICATION NO 161066 UNITS 27, 28, 68 AND 69, SUTTONS BUSINESS PARK, EARLEY Recommendation: Conditional Approval.	11 - 44
16.	Norreys	APPLICATION NO 161123 CANTLEY SPORTS CENTRE, CANTLEY PARK, TWYFORD ROAD, WOKINGHAM, RG40 5QG Recommendation: Conditional Approval.	45 - 60
17.	South Lake	APPLICATION NO 161009 HIGHWOOD PRIMARY SCHOOL, FAIRWATER DRIVE Recommendation: Conditional Approval.	61 - 74
18.		PRE COMMITTEE SITE VISITS To consider any recommendations from the Head of Development Management to hold pre-committee site visits, set out in Members' Update	

Any other items which the Chairman decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

CONTACT OFFICER

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**MINUTES OF A MEETING OF THE
PLANNING COMMITTEE
HELD ON 25 MAY 2016 FROM 7.00 PM TO 8.15 PM**

Committee Members Present

Councillors: Tim Holton (Chairman), Chris Singleton (Vice-Chairman), Chris Bowring, Philip Houldsworth, John Kaiser, Malcolm Richards, Rachelle Shepherd-DuBey, Wayne Smith and Bill Soane

Officers Present

Mark Cupit, Head of SDL Delivery
Chris Easton, Service Manager, Highways Development Management
Mary Severin, Borough Solicitor
Madeleine Shopland, Principal Democratic Services Officer

Case Officers Present

Katie Herrington
Christopher Howard
Stephen Thwaites
Graham Vaughan

1. APOLOGIES

There were no apologies for absence received.

2. MINUTES OF PREVIOUS MEETING

The Minutes of the meeting of the Committee held on 27 April 2016 were confirmed as a correct record and signed by the Chairman.

MEMBERS' UPDATE

There are a number of references to the Members' Update within these minutes. The Members' Update was circulated to all present prior to the meeting. A copy is attached.

3. DECLARATION OF INTEREST

There were no declarations of interest received.

4. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

No applications had been recommended for deferral, or withdrawn.

5. APPLICATION NO 160516, 160517, 160518 - HATCH GATE FARM, LINES ROAD, HURST

Proposal: Full application for the proposed erection of cattle sheds number 2, 3 and 4.

Applicant: Mr Belcher

The Committee received and reviewed a report about this application, set out in Agenda pages 11 to 52.

Wayne Smith, who was Ward Member for Hurst commented that he was encouraged by the rural farming in the Ward.

RESOLVED: That:

1) application No. 160516 be approved, subject to the conditions set out on Agenda pages 12 to 14;

2) application No. 160517 be approved, subject to the conditions set out on Agenda pages 22 to 24;

3) application No. 160518 be approved, subject to the conditions set out on Agenda pages 32 to 34;

6. APPLICATION NO 160777 - THE EMMBROOK SCHOOL

Proposal: Full planning application for the proposed erection of new two storey building to replace existing single storey temporary accommodation unit.

Applicant: Mr Arnab Mukherjee (Wokingham Borough Council)

The Committee received and reviewed a report about this application, set out in Agenda pages 53 to 74.

The Committee was advised that the Members' Update included:

- Five new representations;
- Amended plans (position of 9 Village Close altered on the elevation and section plans so that it is as demonstrated on the site plans and additional obscure glazing added to the west and southern elevation);
- Clarification of community use of the building;
- A proposed amendment to condition 1 (revised plans);
- A proposed amendment to condition 4 (Construction Method Statement);
- A proposed additional condition regarding obscure glazing.

It was noted that Members visited the site on Friday 20 May 2016.

Ian Milne, resident, spoke in objection to the application. He stated that the proposed new two storey building represented an unneighbourly form of development and would be located too close to residential properties. Mr Milne also commented that there would be a loss of privacy and screening for residents and increased noise disturbance. He questioned whether the surface water tank situated between 9 and 10 Village Close would be undermined. He suggested that the two storey building would be higher than nearby residential properties and would be overbearing.

Russell Bond, Deputy Headteacher of The Emmbrook School, spoke in favour of the application and commented that the school wanted to work with the community. He commented that the current one storey structure had been erected some time ago and had always been intended to be temporary.

In response to a question from Members, the Planning Officer clarified the distance between the boundary and the proposed structure. Members also asked about increased screening. The Planning Officer indicated that the ridge height of the two storey building would be lower than nearby residential properties.

In response to questions regarding the lowering of the water table with the excavation and the possible impact on the foundations and trees on the boundary, officers confirmed that it was considered that these would not be issues.

A Member asked about the safety of the students during the construction and was informed that this would be covered in the Construction Management Plan.

Members asked about the route to be taken by construction traffic and where contractors would park during the construction. Members were advised that these issues would be detailed in the Construction Management Plan. A Member questioned whether work on the path between Toutley Road and Ashton Road would be completed prior to any construction commencing. It was confirmed that it would be.

RESOLVED: That application No. 160777 be approved, subject to the conditions set out on Agenda pages 54 to 56 with conditions 1 and 4 amended and an additional condition as set out in the Members' Update.

7. APPLICATION NO 153435 - LAND AT THE MANOR, SHINFIELD

Proposal: Reserved Matters application pursuant to planning consent VAR/2013/0602 for development of a sports pavilion and associated vehicle parking, public open space (including a cricket pitch and informal open space), landscaping and associated works. This application comprises details of appearance, landscaping, layout and scale.

Applicant: University of Reading

The Committee received and reviewed a report about this application, set out in Agenda pages 75 to 98.

The Committee was advised that the Members' Update included an additional condition regarding hours of operation and clarification on a condition which had been requested by Sport England.

A Member questioned whether a condition could be added which restricted the number of times per year social events could be held. The Head of Development Delivery indicated that the club room would only be 7m by 4m and that it was important that conditions were proportionate.

RESOLVED: That application No. 153435 be approved, subject to the conditions set out on Agenda pages 76 to 77 and with the additional condition as set out in the Members' Update.

8. APPLICATION NO 160421 - ST CRISPIN'S SCHOOL

Proposal: Full planning application for the erection of a 2 storey sixth form block, the creation of a new staff parking area via Rances Lane, alterations to the existing car park, provision of a new MUGA (Multi Use Games Area), and use of the existing Sixth Form as a new ASD Unit involving the erection of 2 Canopies and the provision of a drop off area.

Applicant: Mr Tim Searle (Wokingham Borough Council)

The Committee received and reviewed a report regarding the application, set out in Agenda pages 99 to 140.

The Committee was advised that the Members' Update included:

- One new objection;
- A proposed amendment to condition 17 (clarification of hours of illumination);
- A proposed amendment to condition 18 (linking of Construction Management Plan with the phasing of the development);
- Clarifications and amendments to the report;
- Additional information regarding student and staff numbers and proposed parking;
- Information regarding MUGA Noise Assessment.

It was noted that Members visited the site on Friday 20 May 2016.

Mr Kennett, resident, spoke in objection to the application. Mr Kennett stated that screening currently in place would be removed and asked that consideration be given to adding screening to reduce noise disturbance and ensure residents' privacy. He stated that the lights on the science block were left on at night, creating light pollution.

It was noted that conditions 12 and 14 related to landscaping and also acoustic fences to the boundary with 1A to 3 Chedwode Close, along the side boundary of the Westmeade Day Care Centre, and to the boundary of 'the Croft'. The Committee requested that an informative about consultation of neighbours at 3 Chetwode Close on the replacement of landscaping for lost trees put in at the time of the construction of the science block be added. Members also requested that an informative requesting cowling of the existing lights on the science block be added.

Members asked about traffic flow and staff parking. The Service Manager, Highways Development Management stated that the new parking area would not generate significant traffic flow and that staff allocated a parking space would be issued with a fob to access the parking area.

RESOVLED: That application No. 160421 be approved, subject to the conditions set out on Agenda pages 100 to 105 with conditions 17 and 18 as set out in the Members' Update.

9. APPLICATION NO 160819 - 6 DERWENT CLOSE, WOKINGHAM, RG41 3UD
Proposal: Single storey rear extension to dwelling.

Applicant: Mr Rajesh Varadarajan

The Committee received and reviewed a report about this application, set out in Agenda pages 141 to 150.

RESOLVED: That application No. 160819 be approved, subject to the conditions set out on Agenda pages 141 to 142.

10. PRE COMMITTEE SITE VISITS

The Head of Development Management and Regulatory Services had recommended that pre-Committee site visits be undertaken in respect of the following applications:

- 161066 – Suttons Business Park, Earley – to assess the impact of development on the character of the area;

- 161189 – Land west of Hollow Lane, Shinfield – to assess the impact of the development on the character of the area.

The Chairman commented that it was unlikely that a site visit to land west of Hollow Lane, Shinfield would be required.

The Chairman paid tribute to Simon Weeks, former Chairman of the Planning Committee for his excellent work over the years.

RESOLVED: That pre-Committee, a site visit be undertaken on Friday 17 June 2016 in respect of the following application:

- 161066 – Suttons Business Park, Earley – to assess the impact of development on the character of the area;

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Agenda Item 15.

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
161066	8/13	Earley	Bulmershe and Whitegate	Major application

Applicant Location	Standard Life Assurance Ltd. Units 27, 28, 68 And 69, Suttons Business Park, Earley	Postcode	RG6 1AZ
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Proposal Full application for the demolition of existing Class B1 office buildings (Units 68 and 69) and the erection of three Class B2/B8 industrial units with ancillary office space and car parking/ landscaping, refurbishment of existing Class B8 storage and distribution building (Unit 27-28) and reconfiguration of car parking area; the erection of a new Class B2/B8 industrial unit with ancillary office space together with new car parking and landscaping; erection of a new security hut.

Type	Major
PS Category	3
Officer	Graham Vaughan

FOR CONSIDERATION BY	Planning Committee on 22 nd June 2016
REPORT PREPARED BY	Head of Development Management and Regulatory Services

SUMMARY

The application site is within a major development location in the settlement of Earley and on Suttons Business Park. The park is well established and is designated a Core Employment Area in the development plan. The site comprises of units 68 and 69 which are offices, units 27 and 28 which are used as storage and distribution and unit 21 which is used for offices. Parking provision and landscaping surround each of the buildings and the site is bordered by the access road through the site and the railway.

The application is for full permission for the redevelopment of the site to demolish units 68, 69 and 21 and construct new buildings that would be used as a general industrial (B2)/storage and distribution (B8) use. Units 27 and 28 would be refurbished and remain in the same use. Parking provision and landscaping would be provided around the buildings with no changes to the locations of the access points. The buildings would be of a typical business park design but be clad to have a more modern appearance. In addition, unit 21 is proposed to be demolished and replaced with a retail element on the site. However, this is not part of this current application and requires a separate submission.

The proposal would result in a net loss of B use floor space on the site however taking into account B use floor space consented across the Borough, there is considered to be sufficient B uses. In addition, the units have been marketed for some time with little interest generated as a result. On this basis, the proposal is considered acceptable in principle. Although the proposal would result in a decrease in parking spaces, the overall parking provision is considered appropriate for the use. Furthermore, there would be no harmful impact on residential amenity and there would be betterment in terms of trees and additional landscaping. As such, it is considered all other aspects would be satisfactorily mitigated through the use of conditions and therefore, the scheme is compliant with the development plan and is recommended for conditional approval.

PLANNING STATUS

- Major development location
- Contaminated land consultation zone
- Core Employment Area
- Sand and gravel extraction
- Green Route

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

A. Conditions and informatives:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).
2. This permission is in respect of the submitted application plans and drawings numbered 'A100', 'A101', 'A102', 'A103', 'A104', 'A105', 'A106', 'A107', 'A108', 'A109', 'A110', '30746-PL-100A', '30746-PL-101A', '30746-PL-103', '30746-PL-104', '30746-PL-105', '30746-PL-106', '30746-PL-107A', '30746-PL-108', '30746-PL-109', '30746-PL-110' and 'Tree Survey – 00 Rev 1' received by the local planning authority on 26th April 2016 and the revised plans on 27th May 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.
Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.
3. The buildings hereby permitted shall be erected in accordance with the 'Schedule of External Facing Materials' as set out on plan number '30746-PL-104' unless otherwise agreed in writing with the Local Planning Authority.
Reason: To ensure that the external appearance of the building is satisfactory.
Relevant policy: Core Strategy policies CP1 and CP3
4. No development shall commence until a programme of archaeological work (which may comprise more than one phase of work) in accordance with the submitted Project Specification (TVAS 16e45ev 18th April 2016) has been submitted to and approved in writing by the local planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.
Reason: The site is identified as being of archaeological potential. Investigation is required to allow preservation and recording of any archaeological features or artefacts before disturbance by the development. Relevant policy: National Planning Policy Framework Section 12 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB25
5. No development shall take place until full details of BRE365 soakage test results to demonstrate that infiltration is not achievable (including groundwater levels for the development area) have been submitted to and approved by the Local

Planning Authority.

Reason: To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10

6. No development shall commence until an Employment and Skills Plan has been submitted to and approved in writing by the local planning authority. The Employment and Skills Plan shall show how the development hereby permitted provides opportunities for training, apprenticeship or other vocational initiatives to develop local employability skills and shall be implemented in accordance with the approved details.

Reason: To ensure training opportunities are available for local workers.

Relevant policy: Managing Development Delivery Local Plan policy TB12

7. a) No development or other operation shall commence on site until a scheme which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority (the Approved Scheme); the tree protection measures approved shall be implemented in complete accordance with the Approved Scheme for the duration of the development (including, unless otherwise provided by the Approved Scheme) demolition, all site preparation work, tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery.

b) No development (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

8. Prior to commencement of the development a detailed scheme to provide wildlife

enhancements for bats and birds shall be submitted to and approved in writing by the local planning authority. The measures contained within the plan shall be implemented in accordance with the approved plan unless otherwise approved in writing by the local planning authority.

Reason: To ensure the development does not have a detrimental impact on protected species. Relevant policy: Core Strategy CP7

9. Prior to the commencement of the development hereby permitted details of secure and covered bicycle storage/ parking facilities for the occupants of [and visitors to] the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.
- Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*

10. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development,
- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities,
- vi) measures to control the emission of dust and dirt during construction,
- vii) a scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

11. No building shall be occupied until a Travel Plan has been submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.

12. If unexpected contamination is found at any time during development this shall be reported in writing as soon as possible to the Local Planning Authority. An investigation and risk assessment shall be carried out, and where remediation work is necessary a remediation scheme must be prepared and submitted for written approval to the Local Planning Authority. Following the completion of measures set out in the approved remediation scheme a verification report shall be submitted to the Local Planning Authority.

Reason: To ensure that future users of the site are protected from the harmful

effects of any contamination. Relevant Policy: Core Strategy Policy CP3

13. The development hereby approved shall be carried out in accordance with the landscaping details as agreed in the 'Planting and Management Plan, Davies Landscape Architects April 2016' and plans 'DLA-1701-L 01 Rev 2', 'DLA-1701-L 02 Rev 2', 'DLA-1701-L 03 Rev 2', 'DLA-1701-L 04 Rev 2', 'DLA-1701-L 05 Rev 2', 'DLA-1701-L 06 Rev 2', 'DLA-1701-L 07 Rev 2', 'DLA-1701-L 08 Rev 2', 'DLA-1701-L 09 Rev 2', 'DLA-1701-L 10 Rev 5', 'DLA-1701-L 11 Rev 5', 'DLA-1712-L12 Rev 4', 'DLA-1701-L 13 Rev 1' and 'DLA-1701-L 14 Rev 1' received by the Local Planning Authority on 26th April 2016 and the revised plans on 13th June 2016. All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

14. No part of any building(s) hereby permitted (including unit 4) shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

15. The development hereby approved shall be carried out in accordance with the details as agreed in 'Energy Statement – Dunwoody April 2016' received by the Local Planning Authority on 26th April 2016.

Reason: To ensure developments contribute to sustainable development. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1, Managing Development Delivery Local Plan policy CC05 & the Sustainable Design and Construction Supplementary Planning Document.

16. The development hereby approved shall be carried out in accordance with the details as agreed in 'External Lighting Design Report', 'External Lighting Layout E1000 P3' and 'External Lighting Layout E1001 P2' received by the Local Planning Authority on 27th May 2016.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

17. The new buildings shall achieve BREEAM level 'Very Good' in accordance with the requirements of BREEAM [or such national measure of sustainability for non-

residential design that replaces that scheme].

Reason: To ensure developments contribute to sustainable development.

Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policy CC04

18. Notwithstanding the provisions of the Town and Country Planning, (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no additional windows or similar openings shall be constructed in the north east elevation of **unit 4** hereby permitted except for any which may be shown on the approved drawing(s).

Reason: To safeguard the residential amenities of neighbouring properties.

Relevant policy: Core Strategy policy CP3

19. No construction work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

20. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

Informatives

1. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.
2. Thames Water recommends that petrol/oil interceptors are fitted in all car parking/washing/repair facilities.
3. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves

Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

4. There is a Thames Water main crossing the development site which may/will need to be diverted at the Developer's cost, or necessitates amendments to the proposed development design so that the aforementioned main can be retained. Unrestricted access must be available at all times for maintenance and repair. Please contact Thames Water Developer Services, Contact Centre on Telephone No: 0800 009 3921 for further information.
5. Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
6. The requisite Travel plan would need to comply with the latest national and local guidance:
 - 1) NPPF Section 4 (Sustainable Transport)
 - 2) The Essential Guide to Travel Planning (DfT, March 2008)
 - 3) Delivering Travel Plans Through the Planning Process (DfT, April 2009)
 - 4) A Guide on Travel Plans for Developers (DfT)
 - 5) Making Residential Travel Plans Work (DfT, June 2007) All accessible at: <http://www.dft.gov.uk/pgr/sustainable/travelplans/>

<https://www.gov.uk/government/policies/improving-local-transport>

Also: WBC Transport Plan 3 and Active Travel Plan 2011 – 2026, WBC Workplace Travel Plan Guidance and Residential Travel Plan Guidance. Documents, covering workplace travel plans and residential travel plans provide local guidance and are available on the Borough's website.

B. Prior completion of a bat emergence survey to the satisfaction of the Council's ecologist and the submission of an outline bat mitigation strategy should bats be discovered.

PLANNING HISTORY	
10837 (Unit 68)	Building for manufacture of industrial and commercial electronic instruments conditionally approved on 25 th October 1979
21408 (Unit 68)	erection of high tech office and warehouse conditionally approved on 26 th July 1984
23310 (Units 27 & 28)	Erection of industrial/warehouse unit with ancillary office conditionally approved on 22 nd May 1985
28191(Units 27 & 28)	Permission to erect and display static internally illuminated information sign board conditionally approved on 5 th August 1987
28435 (Unit 69)	Erection of new building to be used for business purposes as defined under class b1 of the use classes act conditionally approved on 2 nd September 1987
37082 (Unit 68)	Four internally illuminated box signs conditionally approved on 12 th February 1991
36965 (Unit 68)	Erection of standby generator and enclosure conditionally approved

	approved on 15 th September 1991
F/1999/69087 (Unit 68)	Erection Of Satellite Dish on Roof conditionally approved on 21 st April 1999
RM/2001/4277	Reserved Matters on Outline consent 99/70276/O for the proposed erection of building for (B1) office use with parking facilities and covered cycle compound conditionally approved on 20 th February 2002
A/2012/0429 (Suttons Business Park)	Advertisement consent for the erection of various illuminated and non-illuminated signs to include 1no freestanding site directory sign and 11free standing directional signs conditionally approved on 15 th May 2012
F/2014/1814 (Units 27 & 28)	Proposed alterations to rear elevation and revised car park layout withdrawn on 8 th October 2014
F/2015/0234 (Units 27 & 28)	Proposed resurfacing and revision of existing front car park to increase car parking provision to 100 spaces, plus demolition of 456m of rear warehouse and office space and the installation of 4no goods doors and 2no pedestrian fire escape doors withdrawn on 7 th April 2015

SUMMARY INFORMATION

Site Area	3.26 hectares
Existing units	4
Proposed units	5
Existing parking spaces	297
Proposed parking spaces	188
Floor space	Please see paragraph 6 of the report

CONSULTATION RESPONSES

Berkshire Archaeology	No objection subject to condition (4)
Royal Berkshire Fire and Rescue	Request further information (see paragraph 35)
Thames Water	No objection subject to informatives (2 – 4)
Reading Borough Council	No objection
Highways	No objection subject to conditions (9 – 11, 14)
Biodiversity	Further information required (see paragraph 29)
Tree and Landscape	No objection subject to conditions (7, 13, 20)
Environmental Health	No objection subject to condition (12)
Drainage	No objection subject to condition (5)
Policy	No objection
Waste Services	No comments received
Employment Skills	No objection subject to condition (6)
Earley Town Council	Note that the red line intersects an existing building and request condition requiring access to remain in place
Local Members	No comments received

REPRESENTATIONS

5 letters of objection received with regards to the following: <ul style="list-style-type: none"> Proposed Aldi store would result in a loss of light, noise, light pollution from cars, extra litter attracting rats and additional traffic. There doesn't seem a need for a new store (Officer note: the Aldi store is not proposed in this application and therefore it's potential impacts cannot be considered).

- Unit 4 would cause loss of light and noise during construction and operation (Officer note: see paragraphs 16 and 17).
- Parking is already a problem on Shepherds House Lane (Officer note: planning applications cannot be used to solve issues they are not exacerbating. See paragraphs 19 – 24).
- The transport statement misses opportunities to improve sustainability. In particular, the development does not connect to the cycle network; shift patterns mean they will be at times when buses do not run; out of hours use should be planned for; damage to the kerbs has arisen since increase of lorry movement; parking restrictions could be provided by the Council on surrounding streets. (Officer note: Applications cannot be used to solve issues they are not exacerbating and the Local Planning Authority must determine the application before them, not alternative ideas. See paragraphs 19 – 24).
- Additional traffic from the development (See paragraphs 19 – 24).
- Loss of trees and landscaping (see paragraphs 26 and 27).

APPLICANTS POINTS

- Despite marketing, existing B1 use has not been taken up and therefore opportunity to redevelop to a different B use has arisen
- Existing accesses and landscaping buffers can be protected
- Redevelopment would create jobs
- Responds successfully to the character of the area
- Part of a wider redevelopment of Suttons Business Park to remain relevant and current in today's 'Office Park' culture

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP15	Employment Development
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable energy and decentralised energy networks
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	CC10	Sustainable Drainage

	TB11	Core Employment Areas
	TB12	Employment Skills Plan
	TB20	Service Arrangements and Deliveries for Employment and Retail Use
	TB21	Landscape Character
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 7

PLANNING ISSUES

Description of Development:

1. The scheme is for the redevelopment of part of Suttons Business Park involving units 27 – 28, units 68 – 69 and the creation of a new unit; number 4. A replacement security hut is also proposed.
2. Units 68 – 69 which have a designated B1 use would be demolished and replaced with two larger buildings as a designated B2/B8 use (although this would be split into three units (numbers 1, 2 and 3). Each of these would contain ancillary offices as well as associated parking and service areas. Unit 1 would be in total 52.4 metres in length and 44.8 metres in width and would have a hipped roof with a ridge height of 11.8 metres and a ridge height of 9.0 metres. Unit 2 would be joined to unit 1 and would be 43.8 metres in length 30.8 metres in width and have a hipped roof with a ridge height of 11.8 metres and an eaves height of 9.0 metres. Unit 3 would be 62.1 metres in length and 61.0 metres in width with a ridge height of 13.0 metres and an eaves height of 11 metres. The building would be clad in a metallic silver finish with detailing on the windows through aluminium frames and roller shutters and glazed doors.
3. Units 27 – 28 would be refurbished but would remain as a B8 use. The only change to the size of the building is to remove the existing warehouse element to the rear resulting in the building being 71.8 metres in length and 46.3 metres in width with a hipped roof with a ridge height of 8.1 metres and an eaves height of 5.9 metres. The majority of the refurbishment works would be internal however this would result in some minor external changes. The building would be re-clad in similar design to the new buildings as part of the works to modernise the building.
4. Unit 4 is proposed as a new B2/B8 use building and would be constructed parallel to the edge of the site on existing parking provision. The building would be 42.4 metres in length and 28.2 metres in width and have a hipped roof with a ridge height of 10.8 metres and an eaves height of 9.0 metres. An 8.4 metre by 6.0 metre stairwell section would be contained to the side and clad in a similar fashion to the other buildings.
5. The security hut would be relocated from opposite units 68 – 69 to opposite units 27 – 28. The hut would be 4.0 metres in length and 3.5 metres in width with a mono-pitched roof with a ridge height of 3.2 metres and an eaves height of 2.5 metres. The hut would be clad to match the other buildings proposed.
6. The floor space for each building is shown below:

Existing Units	Existing floor space (m ²)	Proposed units	Proposed floor space (m ²)
Units 68 & 69 (B1)	6224	Units 1, 2, 3 (B2/B8)	7788
Unit 21 (B1)	3794	Unit 21	0
Units 27 & 28 (B8)	3902	Units 27 & 28 (B8)	3902
Unit 4	0	Unit 4 (B2/B8)	1286
Total	13920	Total	12976

7. For information, the LPA is aware of a further development involving the demolition of unit 21 and the creation of a retail element. This is subject to a separate application which has not been received by the LPA at this time. Determination of any submitted application would take into account the planning history for the site.

Principle of Development:

8. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
9. The site is located within a major development location and as such the development is acceptable in principle providing that it complies with the policies within the Core Strategy. In regards to Policies CP1 and CP3, it is noted that the proposal would provide a similar type of use to the surrounding area on a brownfield site with suitable transport links and in that respect would be acceptable. However, the proposal site is within a Core Employment Area as stated in Policy CP15 and TB11.
10. Policy CP15 aims to promote development for business, industry or warehousing and states that any changes of use from B1, B2 or B8 uses should not lead to a net loss of B use floor space across the Borough. Units 68 and 69 are currently a B1 use whilst units 27 and 28 are a B8 use. Whilst units 68 and 69 would be replaced with a B2 use and units 27 and 28 would remain in B8 use, the overall provision of B use floor space would decrease by 1484 m². However, the Policy Officer has stated that the Employment Land Monitoring Report for April 2013 – March 2014 demonstrates that there has been a net gain of 3,649m² of B use floor space in the Borough since 1st April 2006. Furthermore there are extant permissions for 88,099m² across the Borough and therefore the proposal would not compromise the need for B use floor space across the Borough to be contrary to policy CP15 in a quantitative aspect.
11. It is noted that the buildings are currently office space and as a result of the proposal would be general industrial. Policy CP15 does state “provision will be made for a range of sizes, types, quality and locations of premises” in order to encourage different types of business. However, the applicant has stated the buildings have been marketed for some time with very little interest received as a result. Marketing has occurred for the past 12 months on a number of websites

and through signage hoarding. Consideration should also be given to the status of the offices with units 68 and 69 being Grade B/C and unit 21 a bespoke building not suitable for other users. The occupiers of both units 68 and 69 have, in the past 2 years, moved to Winnersh Triangle. As a result, it has become more attractive to redevelop the site and it is likely this would create over 150 jobs. On this basis therefore, the proposal is not considered to conflict with CP15 in terms of the qualitative aspect and therefore is acceptable in principle.

Character of the Area:

12. The existing buildings are low rise, flat or hipped roof buildings constructed mainly of glass and brick. They have a typical, business park appearance however are at the entrance of Suttons Business Park and therefore are visible from a number of areas. Parking is provided around the buildings but the impact of the hard standing is mitigated by landscaping particularly to the boundaries. The A4, to the south of the site is a designated Green Route and therefore has a strong tree line. Further hedgerows and a low scale fence also help delineate the boundaries around the buildings. Whilst the roundabout off the entrance of the park dominates the area to the east, a small residential street exists to the north/north east. Again, a strong tree line separates the two areas as well as the railway line to the north.
13. The proposal would redevelop the site to provide for general industrial (B2 use) and storage (B8 use) buildings. Whilst this is different from the existing office uses, given the business park location and the fact it is a Core Employment Area (where B uses are encouraged); no harm is considered to arise in this respect.
14. In terms of the physical scale of the buildings, it is acknowledged that the replacement buildings would be larger and a new building would be constructed. Nonetheless, the site is an existing business park where buildings of different sizes and shapes are to be expected. Furthermore, sufficient parking and turning space as well as spaces around the buildings is provided. Moreover, landscaping would be used to help integrate the buildings into the area as is the case with the current buildings. As noted, the A4 is a designated Green Route and tree lines around the site are important in maintaining separation between the business park and the residential areas. It is acknowledged the proposals would remove some vegetation along the Green Route in order to provide parking provision. However, the submitted plans indicate that a significant number of trees would be planted leading to betterment across the site. Importantly, the section of trees along Shepherds House Lane would be retained. As a result, it is considered the proposal would have an acceptable impact on the character of the area.
15. In terms of the visual appearance of the buildings, they would be clad in a metallic silver finish with buff coloured bricks as well as detailing on the windows through aluminium frames and roller shutters and glazed doors. It is noted this would have a more modern appearance and indeed is different from the existing buildings. Notwithstanding this, Suttons Business Park contains numerous designs and uses of materials and there is not a set or repeating appearance. Furthermore, views from the street scene are currently of a commercial nature and there would no change from this as a result of the proposal. As such, scheme is not considered to conflict with the character of the area.

Residential Amenities:

16. The closest properties that could potentially be impacted would be 50 – 54 Shepherds House Lane as a result of the proposed unit 4. Whilst it is acknowledged that the unit would be of a large scale, it would be located 25 metres from these properties. This separation distance would ensure that no harmful impact would occur on residential amenity in terms of overbearing, overlooking or a loss of light. In addition, there is a strong vegetative barrier that already limits views of the unit and this would be retained. Therefore it is considered no harmful impact in planning terms would occur.
17. As a result of the proposed use it is acknowledged that some noise could occur however it should be noted that the properties already exist next to the business park and the railway line. Nonetheless, the door that was proposed to the rear of unit 4 has since been moved to the side elevation to eliminate the possibility of noise spill. As a result, it is considered necessary to ensure no windows or doors would be contained on the elevation facing the properties and this is controlled by condition 18. With respect to noise during construction, this would be limited to suitable working hours as controlled through condition 19. It is also noted that comments have been received with regards to hours of operation. However, the Environmental Health Officer has considered the case and has not objected on this point. As such, it is not considered necessary in planning terms to restrict operating hours.
18. With regards to other buildings within Suttons Business Park, the proposal would be of a sufficient distance away to mitigate any impact.

Access and Movement:

19. **Traffic Generation:** A Transport Statement has been submitted with the application and it demonstrates that there will be no significant traffic impact associated with the proposal and would potentially lead to a reduction in the amount of trips generated. The Highways Officer has considered this statement and agrees with its conclusions. However, a Travel Plan is recommended in order to promote sustainable modes of travel to and from the site by condition (10). Secure, covered cycle storage and shower facilities have been indicated and details can be secured through a condition (9).
20. Further consideration should be given to the cumulative impact of the scheme as the LPA is aware of a further application regarding the construction of a retail element on the site of unit 21. The Highways Officer has considered further survey work completed by the applicant and is satisfied that the current proposal in conjunction with an appropriately sized retail element would not prevent either scheme going ahead in terms of traffic generation.
21. **Highway Safety and Access:** There are three existing accesses into the site from Suttons Park Avenue which is public highway. The submitted details indicate that these would not be moved in terms of their location but upgraded to better reflect the proposed layout of the site. The Highways Officer raises no objection to this.
22. Additionally, suitable servicing and turning areas for lorries are proposed and

these are considered acceptable. It is noted however that due to the scale of the proposal, during construction there would be a number of deliveries required. As such, the Highways Officer has requested a Construction Management Statement be controlled by condition (10).

23. **Parking:** Currently, there are 297 spaces across the site which provides for the existing office buildings (B1 use) and units 27 & 28 which have a B8 use. The proposal would provide 188 spaces across the site for the B2/B8 use buildings. Whilst this is a decrease in parking provision, it would still be in accordance with the Council's parking standards and it should also be noted that there would be a decrease in floor space across the site as a result of the proposal. As such, the Highways Officer is satisfied that the proposal would provide sufficient parking and does not raise an objection subject to condition 14.

24. **Sustainability:** Secure, covered cycle storage is indicated and a Travel Plan would also help ensure other transport modes than the private car would be used. The site is already well served by public transport and is within suitable distance to rail and road links.

Flooding and Drainage:

25. The site is located in Flood Zone 1 however as it is greater than a hectare in size a Flood Risk Assessment is required. The submitted FRA shows that the site is at low risk from flooding but to ensure flood risk would not increase as a result of the proposal, a surface water drainage strategy is required. The Council's drainage consultant has considered the FRA and agrees with its recommendations noting that there would be betterment across the site as a result of the drainage strategy proposed. As such, subject to a condition (5) ensuring infiltration tests have been undertaken, no objection is raised.

Landscape and Trees:

26. In terms of the landscape, the site is within Suttons Business Park which is an established business location in the Borough. The area is relatively urban however Suttons Business Park contains a significant amount of trees and the section along the A4 (adjacent to units 68 and 69) is a designated Green Route. The trees along the boundaries of the site are important in helping the larger buildings integrate into the area and also provide a screen and division between the business land use and the nearby residential land use. Although some trees would be lost as a result of the proposal, the line of trees to the boundaries would be retained and enhanced with new planting. As a result, the proposal would result in betterment across the site and therefore has an acceptable impact on the landscape.

27. Due to the scale of the works proposed, it is considered that suitable tree protection methods would be required and this can be controlled by condition. As such, the Tree and Landscape Officer does not object to the proposal, subject to conditions (7, 13 and 20).

Environmental Health

28. Due to the former uses, the land is potentially contaminated and a report into this

has been submitted with the application. The Environmental Health Officer has considered this report and is satisfied with its conclusions. As a result, it is recommended that a condition is placed in case any unexpected contamination is found (12).

Ecology:

29. An Ecology Report has been submitted with the application and concludes that due to the dominance of hard standing and buildings the site is of low ecological value. However, due to the risk to nesting birds any vegetation removal should occur outside of breeding season and potential wildlife enhancements could be included. The Ecology Officer has considered this report and raises no objection to the wildlife enhancements, subject to a condition requiring them to be agreed (8). However, the report noted potential bat roost features in units 68 and 69 and recommends a further survey be carried out. Until this survey is submitted, it cannot be determined if there would be a harmful impact on bats and therefore, the recommendation reflects this requirement.

Sustainable Design/Construction:

30. In line with Policy CC04 of the MDD, proposals for non-residential development over 100 square metres should as a minimum achieve the mandatory BREEAM requirements but seek to achieve higher. The applicant has stated a 'Very Good' rating could be achieved and, as such, a condition requiring this is proposed (x).

31. Policy CC05 requires non-residential proposals of more than 1,000 square metres gross floor space to deliver a minimum 10% reduction in carbon emissions through renewable energy or low carbon technology. An Energy Statement has been submitted which states how this would be achieved through the use of appropriate fixtures and fittings within the building and through PV solar panels outside the building. As such, it is considered necessary to condition that the development is carried out in accordance with this statement (17).

Community Infrastructure Levy:

32. As the proposal is for the construction of industrial and storage space, it would not be CIL liable development.

Archaeology:

33. Due to potential archaeological remains in the area, the Council's archaeological consultant has recommended a condition (4) be placed requiring the approval of a written scheme of investigation prior to development occurring on site. Subject to this condition, no harmful impact is considered to occur.

Employment Skills:

34. Policy TB12 of the MDD requires major applications to demonstrate how they can encourage the use of local skills and employment. Whilst this typically works better with larger residential schemes, the proposal is considered appropriate for this and therefore a condition requiring a plan to be submitted is included (6).

Other

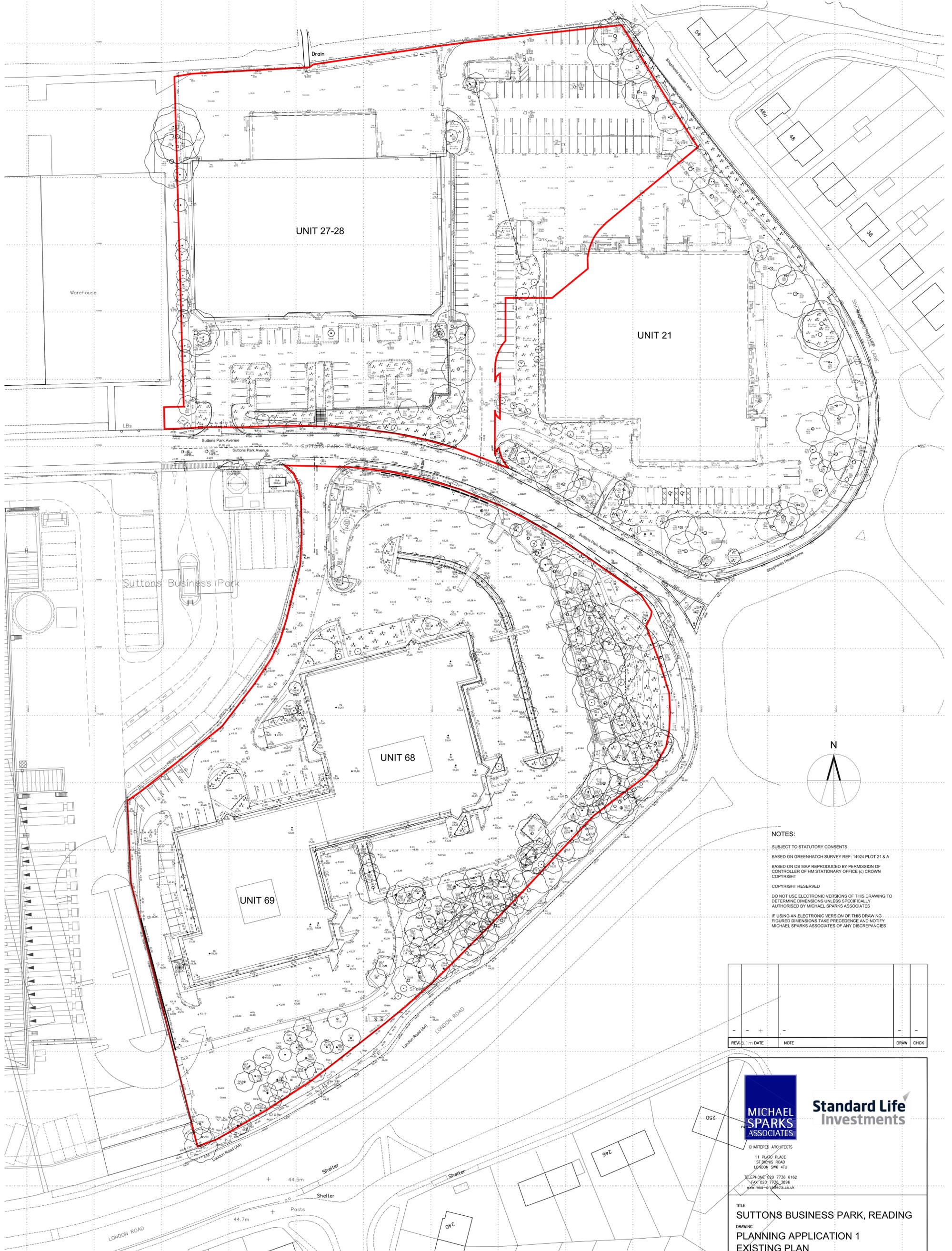
35. Comments have been received from Berkshire Fire and Rescue Service requesting provision of fire hydrants in line with their own service requirements. However, the planning system cannot be used to fulfil the requirements of other legislation and in any case, there are existing buildings already on the site. As such, no harmful impact in planning terms is considered to occur.

CONCLUSION

The application is considered to be acceptable in principle as the loss of the offices is not considered to have a harmful impact to the extent it would warrant refusing the application and given the nature of the proposed replacement use within a Core Employment Area. The resultant buildings would be in keeping with the character of the area and subject to conditions, no harmful impacts would occur with regards to highways, drainage, contamination or trees. As such, the proposal is considered to accord with local and national planning policy and is therefore recommended for approval.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk



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TITLE
 SUTTONS BUSINESS PARK, READING
DRAWING
 PLANNING APPLICATION 1
 EXISTING PLAN
CLIENT
 STANDARD LIFE INVESTMENTS

DATE APRIL 2016	SCALE 1:500@A1	DRAWN SD
STATUS PLANNING		CHECKED MS
DRAWING NUMBER 30746-PL-106		

01
106 EXISTING PLAN 1:500



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TITLE
SUTTONS BUSINESS PARK, READING

DRAWING
PLANNING APPLICATION 1
COLOUR SITE LAYOUT PLAN

CLIENT
STANDARD LIFE INVESTMENTS

DATE APRIL 2016	SCALE 1:500@A1	DRAWN SD
STATUS PLANNING		CHECKED MS

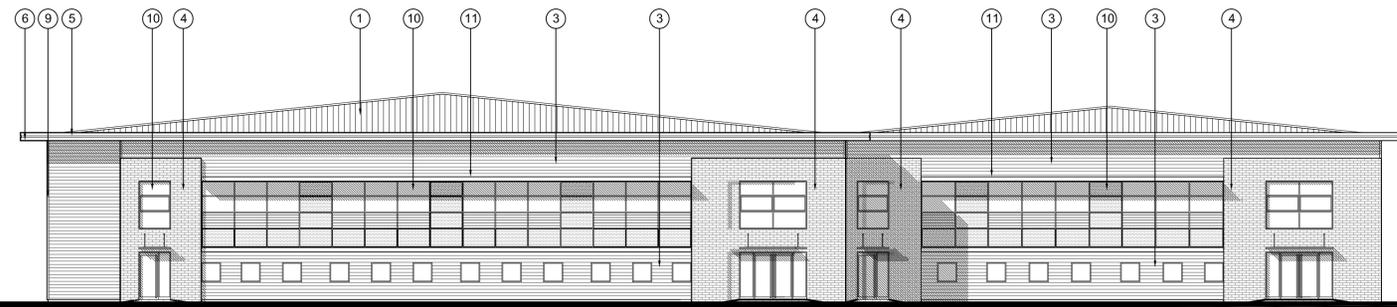
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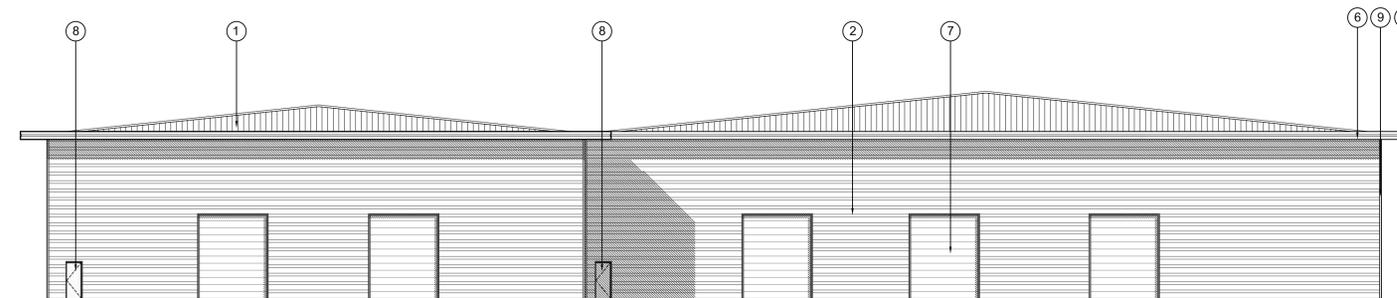
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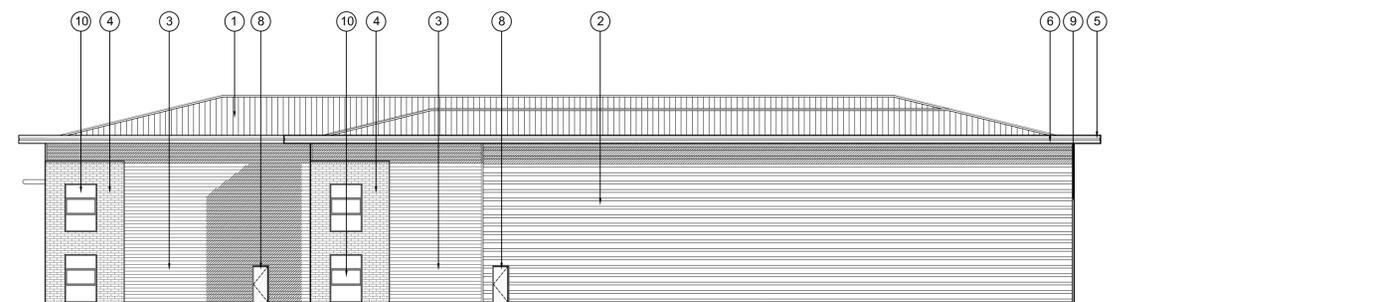
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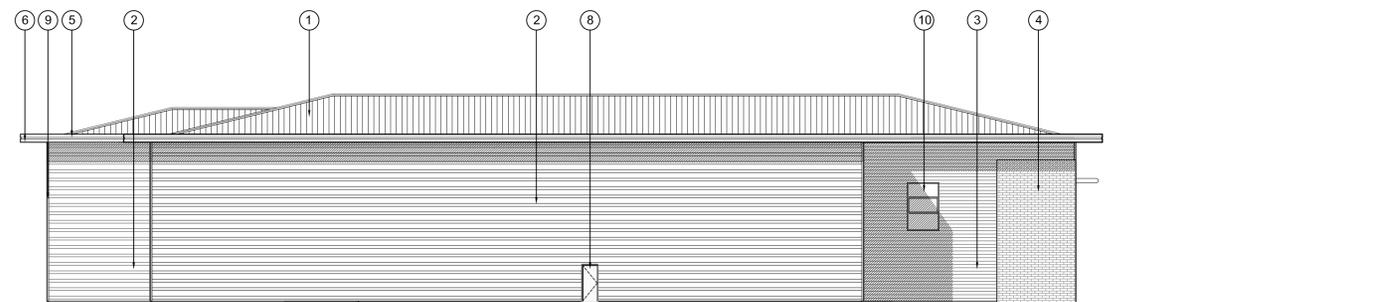
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02 NORTH ELEVATION - UNIT 1 & 2
104 1:200



03 EAST ELEVATION - UNIT 1 & 2
104 1:200



04 WEST ELEVATION - UNIT 1 & 2
104 1:200

SCHEDULE OF EXTERNAL FACING MATERIALS	
① ROOF	FULLY INSULATED BUILT UP ROOF SYSTEM COLOUR: HPS 200 ALBATROSS LIGHT GREY
② UNIT WALL CLADDING	FULLY INSULATED HALF ROUND CLADDING PANELS LAID HORIZONTALLY COLOURCOAT PRISMA SILVER METALLIC (RAL 9006)
③ OFFICE WALL CLADDING	FULLY INSULATED SINUSOIDAL CLADDING PANELS LAID HORIZONTALLY COLOURCOAT PRISMA ZEUS (DARK GREY METALLIC)
④ OFFICE ENTRANCE WALL	BRICK COLOUR: SMOOTH BUFF
⑤ ROOF FASCIA	SECRET FIXED PROFILED FASCIA - HPS 200 ULTRA COLOUR: SILVER METALLIC (RAL 9006)
⑥ ROOF OVERHANG AND SOFFIT	FLAT METAL SECRET FIXED SOFFIT PRISMA SILVER METALLIC (RAL 9006)
⑦ LOADING DOORS	TATA STEEL HPS200 FINISH - COLOUR: GREY ALUMINIUM (RAL 9007)
⑧ PERSONNEL FIRE EXIT DOORS	TATA STEEL HPS200 FINISH - COLOUR: GREY ALUMINIUM (RAL 9007)
⑨ CORNER FLASHINGS	FIN DETAIL CORNER FLASHING COLOUR: SILVER METALLIC (RAL 9006)
⑩ CURTAIN WALLING & ENTRANCE DOORS	CLEAR SUNCOOL TOUGHENED GLASS IN POLYESTER POWDER COATED ALUMINIUM CURTAIN WALLING SYSTEM WITH LOOK-A-LIKE PANELS. COLOUR: DARK GREY (RAL 7016)
⑪ BRISE SOLEIL	POWDER COATED ALUMINIUM HORIZONTAL AEROFOL FINS. COLOUR: SILVER METALLIC (RAL 9006)

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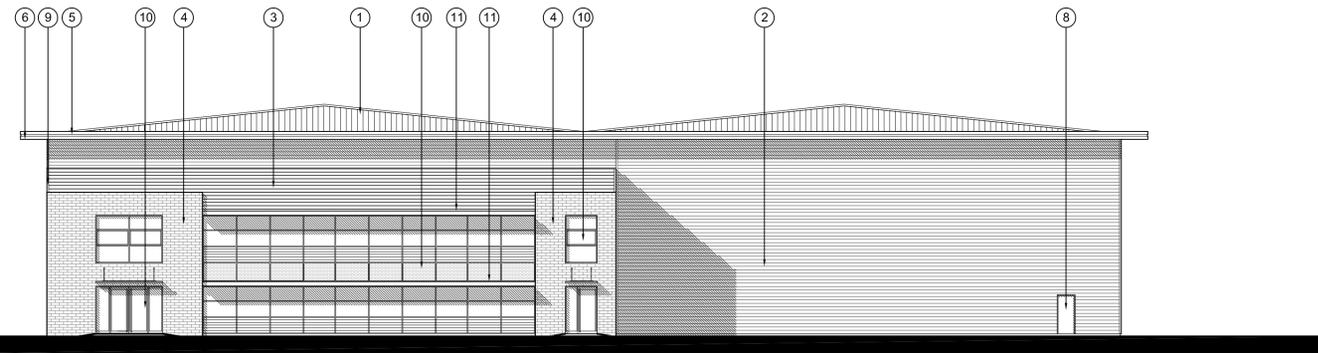
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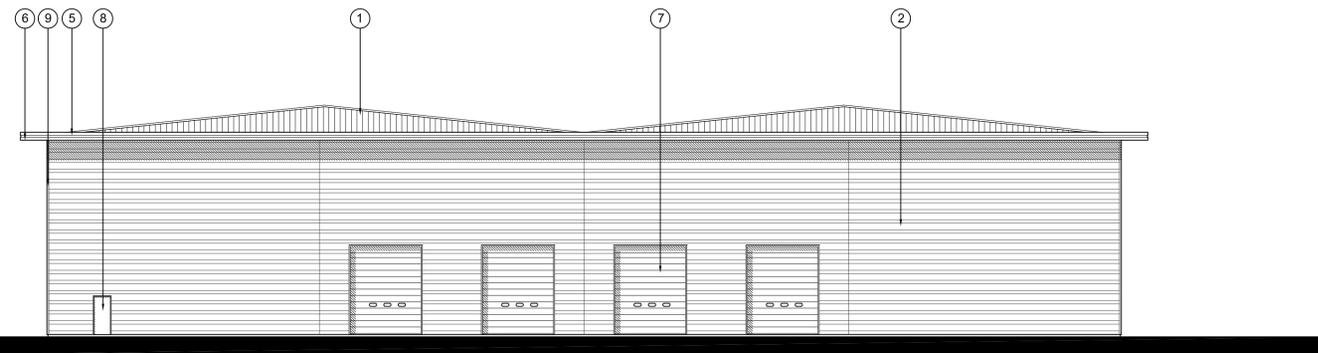
TITLE
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 PLANNING APPLICATION 1
 UNIT 1 & 2 ELEVATIONS
 CLIENT
 STANDARD LIFE INVESTMENTS

DATE MARCH 2016	SCALE 1:200@A1	DRAWN SD
	STATUS PLANNING	CHECKED MS
DRAWING NUMBER 30746-PL-104		

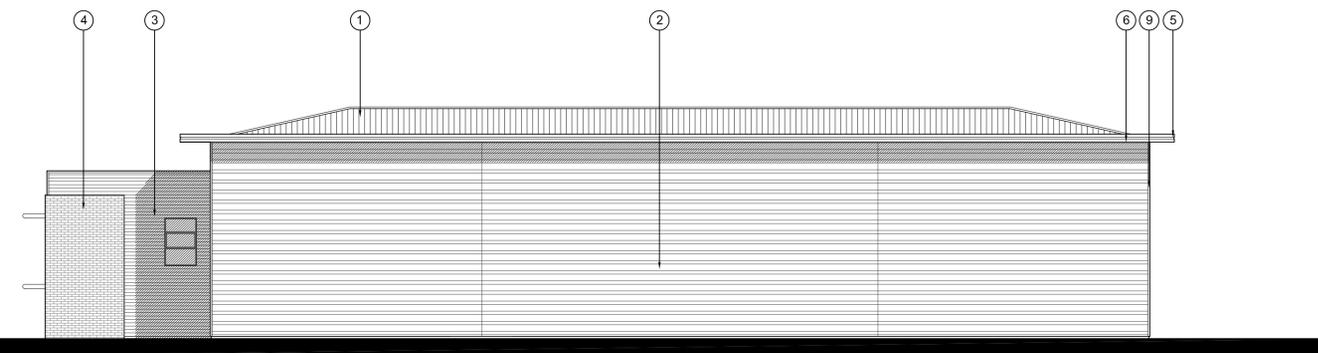
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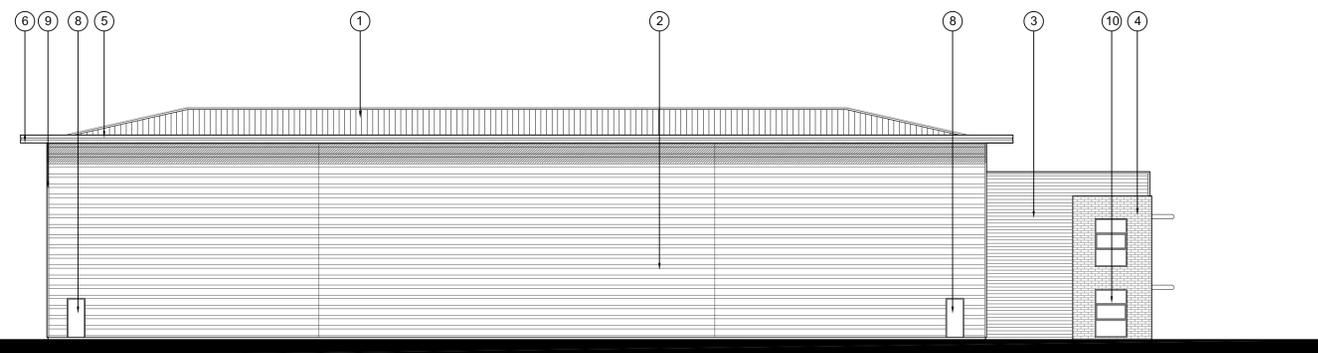
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02 NORTH WEST ELEVATION - UNIT 3
105 1:200



03 NORTH EAST ELEVATION - UNIT 3
104 1:200



04 SOUTH WEST ELEVATION - UNIT 3
104 1:200

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④ OFFICE ENTRANCE WALL	BRICK. COLOUR: SMOOTH BUFF
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TITLE
SUTTONS BUSINESS PARK, READING

DRAWING
PLANNING APPLICATION 1
UNIT 3 ELEVATIONS

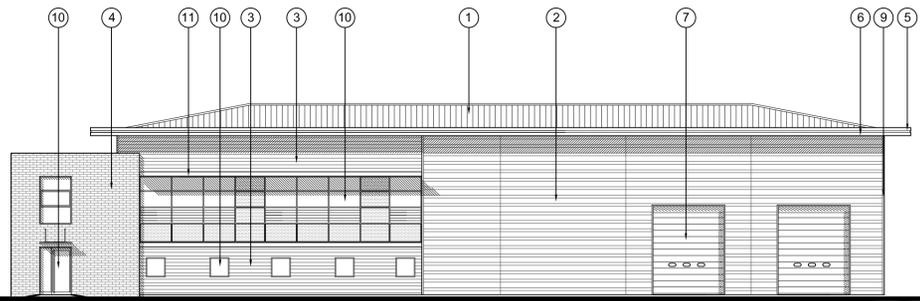
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STANDARD LIFE INVESTMENTS

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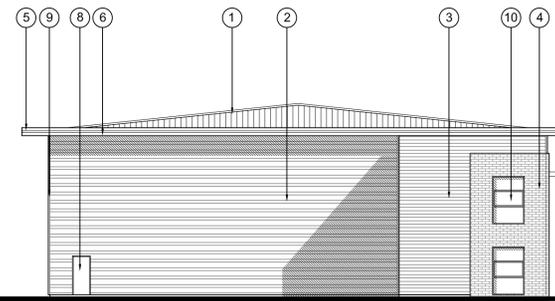
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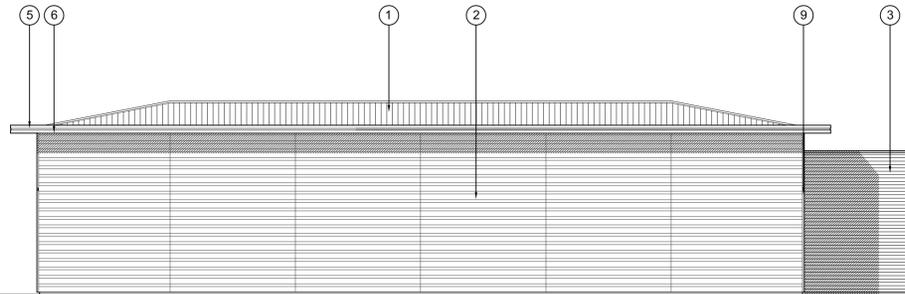
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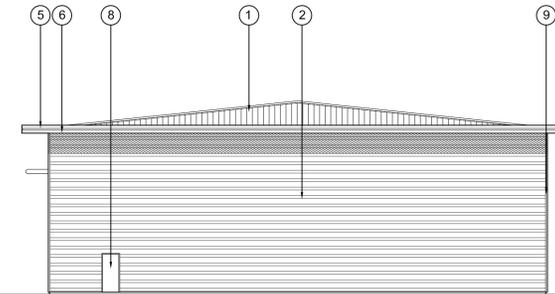
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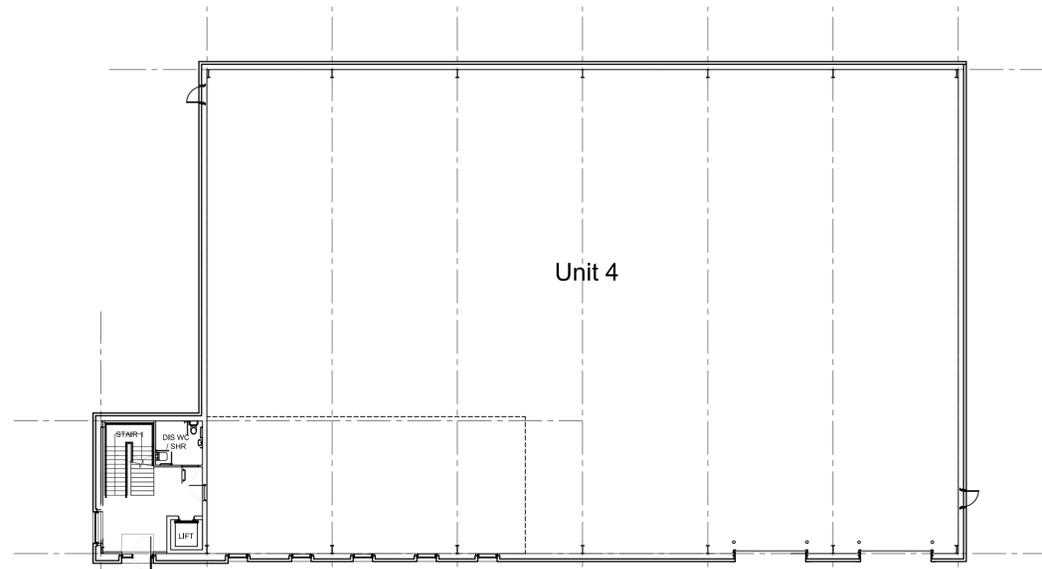
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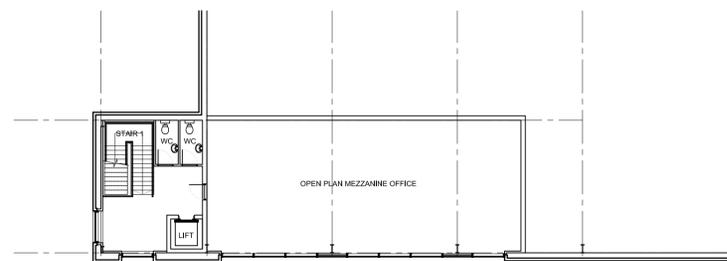
02 NORTH EAST ELEVATION - UNIT 4
 1:200



04 SOUTH EAST ELEVATION - UNIT 4
 1:200



05 GROUND FLOOR PLAN - UNIT 4
 1:200



06 FIRST FLOOR PLAN - UNIT 4
 1:200

SCHEDULE OF EXTERNAL FACING MATERIALS	
① ROOF	FULLY INSULATED BUILT UP ROOF SYSTEM COLOUR: HPS 200 ALBATROSS LIGHT GREY
② UNIT WALL CLADDING	FULLY INSULATED HALF ROUND CLADDING PANELS LAD HORIZONTALLY COLOURCOAT PRISMA SILVER METALLIC (RAL 9006)
③ OFFICE WALL CLADDING	FULLY INSULATED SINUSOIDAL CLADDING PANELS LAD HORIZONTALLY COLOURCOAT PRISMA ZEUS (DARK GREY METALLIC)
④ OFFICE ENTRANCE WALL	BRICK. COLOUR: SMOOTH BUFF
⑤ ROOF FASCIA	SECRET FIXED PROFILED FASCIA - HPS 200 ULTRA COLOUR: SILVER METALLIC (RAL 9006)
⑥ ROOF OVERHANG AND SOFFIT	FLAT METAL SECRET FIXED SOFFIT PRISMA SILVER METALLIC (RAL 9006)
⑦ LOADING DOORS	TATA STEEL HPS200 FINISH - COLOUR: GREY ALUMINIUM (RAL 9007)
⑧ PERSONNEL FIRE EXIT DOORS	TATA STEEL HPS200 FINISH - COLOUR: GREY ALUMINIUM (RAL 9007)
⑨ CORNER FLASHINGS	FIN DETAIL CORNER FLASHING COLOUR: SILVER METALLIC (RAL 9006)
⑩ CURTAIN WALLING & ENTRANCE DOORS	CLEAR SUNCOOL TOUGHENED GLASS IN POLYESTER POWDER COATED ALUMINIUM CURTAIN WALLING SYSTEM WITH LOOK-A-LIKE PANELS. COLOUR: DARK GREY (RAL 7019)
⑪ BRISE SOLEIL	POWDER COATED ALUMINIUM HORIZONTAL AEROFOL FIN. COLOUR: SILVER METALLIC (RAL 9006)

REV	DATE	NOTE	DRAW	CHK
A	27.05.16	Rear door relocated.	sd	-



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TITLE
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 PLANNING APPLICATION 1
 UNIT 4 PLANS & ELEVATIONS
 CLIENT
 STANDARD LIFE INVESTMENTS

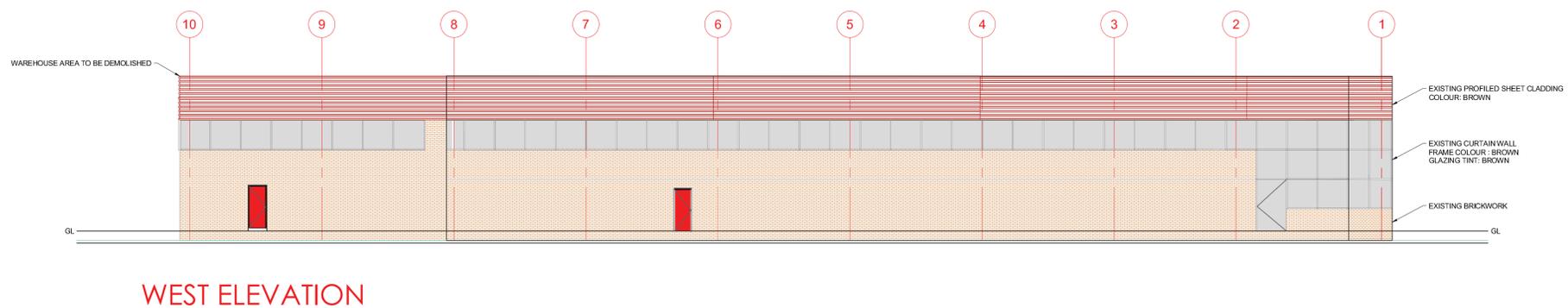
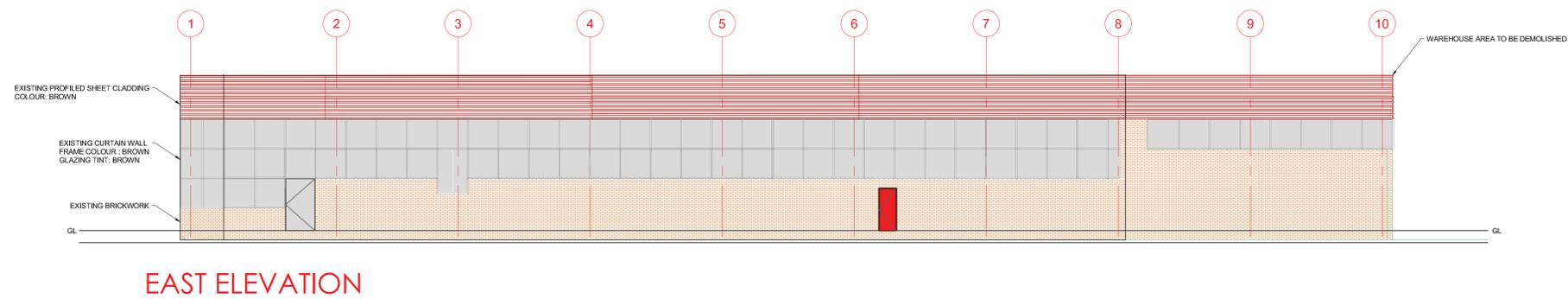
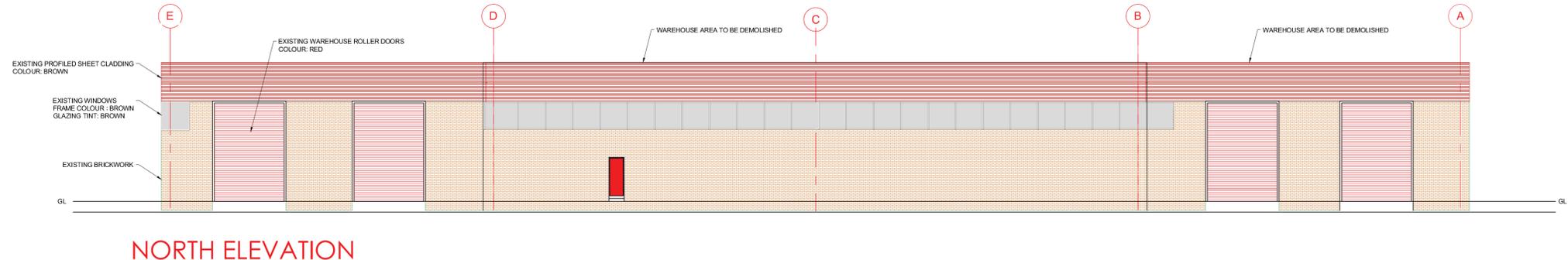
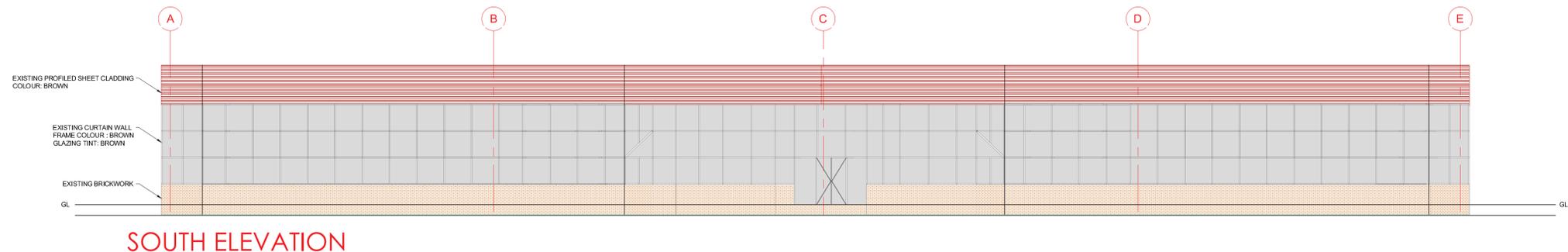
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37



EXISTING ELEVATIONS
 SCALE: 1:150 @ A1

REV	DETAILS	DATE	BY

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PROPERTY ADDRESS
**27/28 SUTTONS BUSINESS PARK
 READING, RG6 1AZ**

DRAWING TITLE
EXISTING ELEVATIONS

SCALE @ A1 SEE DRAWING	DATE 08/04/2016
DRAWN BY BL	CHECKED BY TF

JOB No. BC000246	DWG No. A103	REV. -
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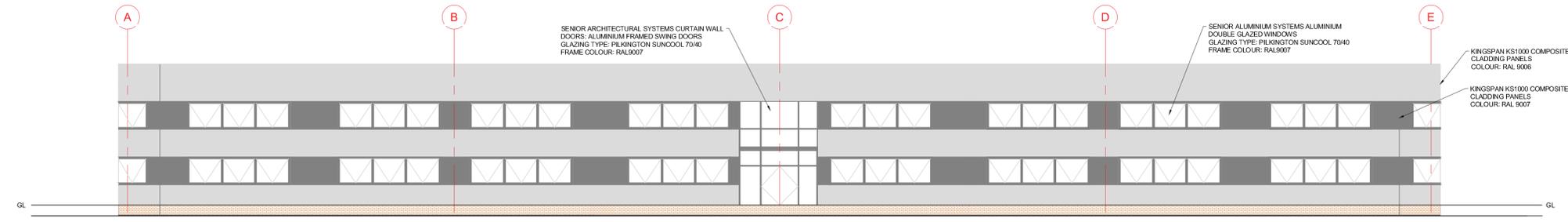
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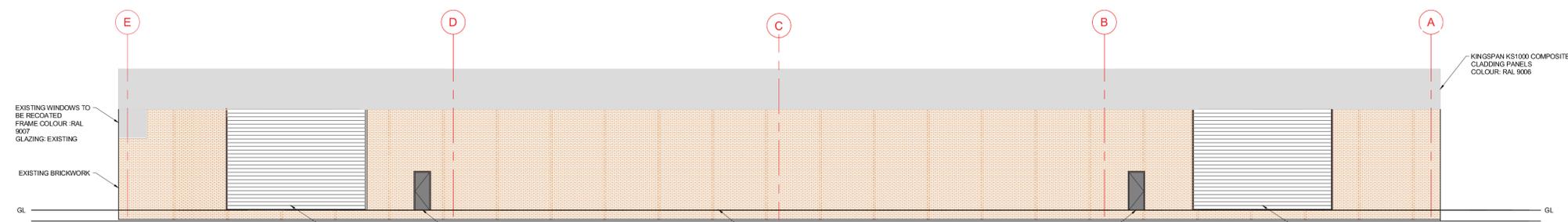
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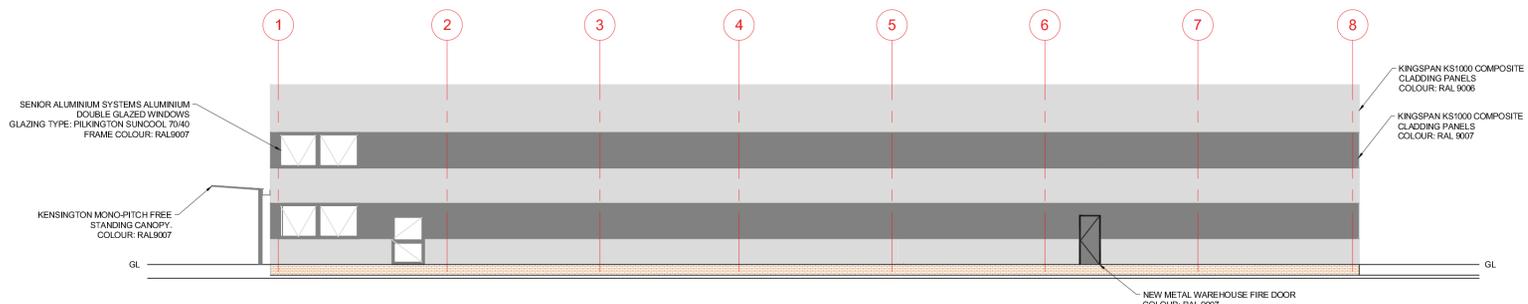
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 PROPOSED CLADDING KINGSPAN KF1000 OPTIMO, COLOUR: RAL 9007



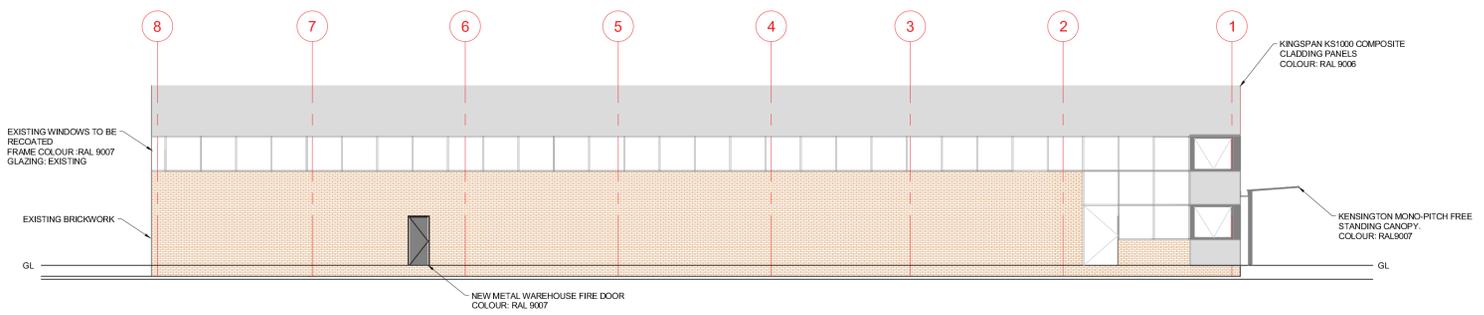
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

PROPOSED ELEVATIONS
 SCALE: 1:150 @ A1

REV	DETAILS	DATE	BY

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DRAWING TITLE
PROPOSED ELEVATIONS

SCALE @ A1 SEE DRAWING	DATE 08/04/2016
DRAWN BY BL	CHECKED BY TF

JOB No. BC000246	DWG No. A104	REV. -
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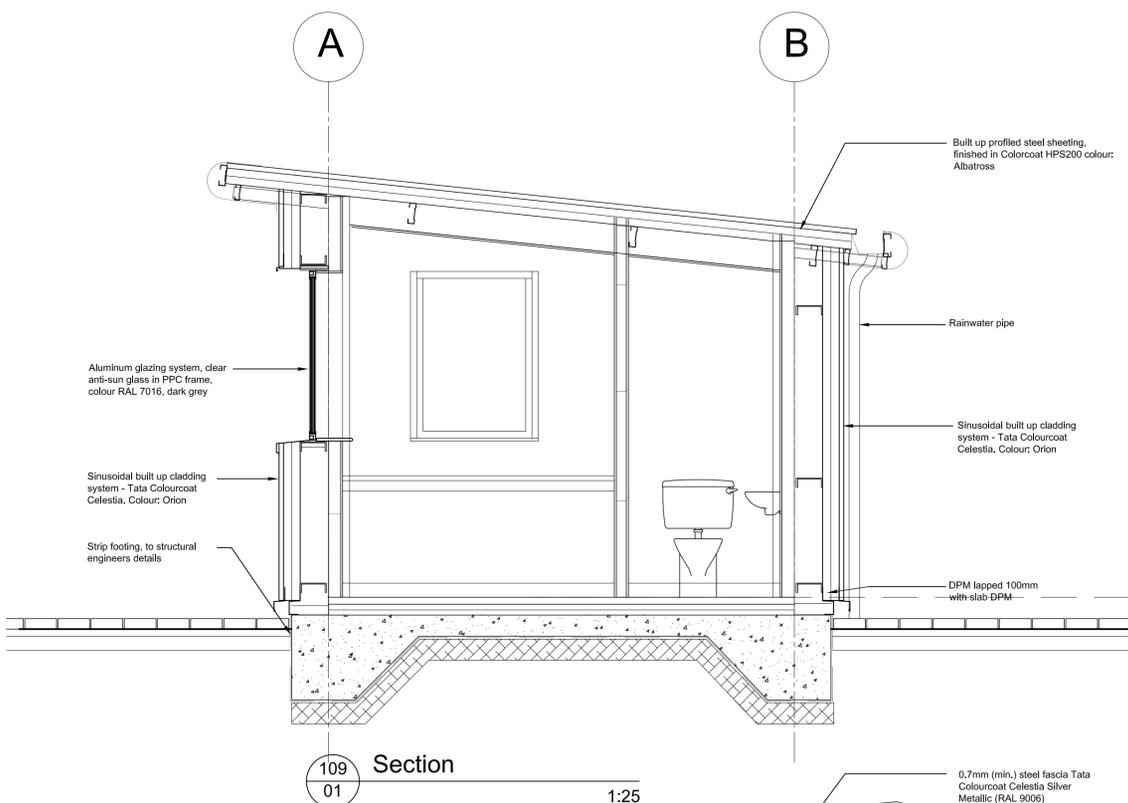
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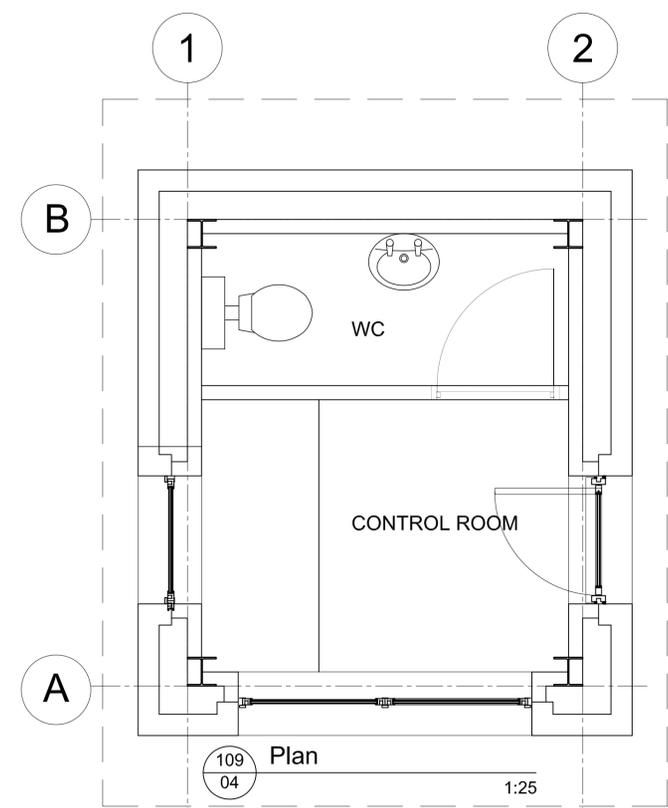
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 0161 393 6000

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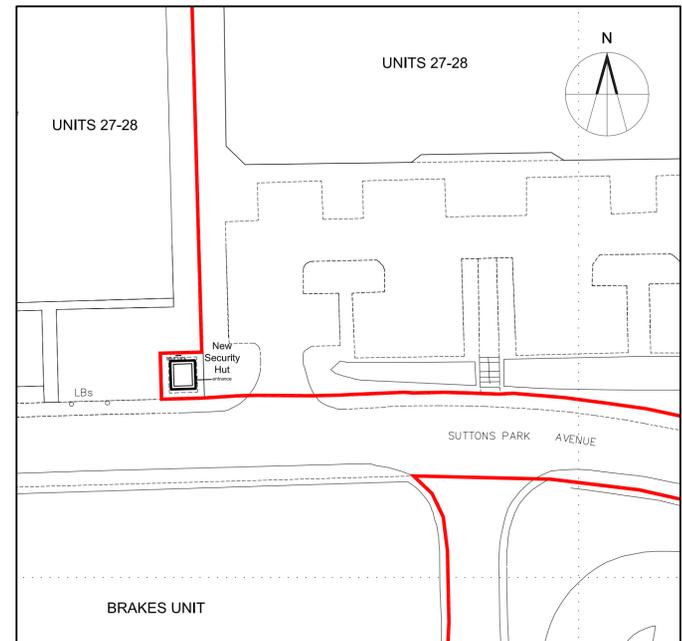
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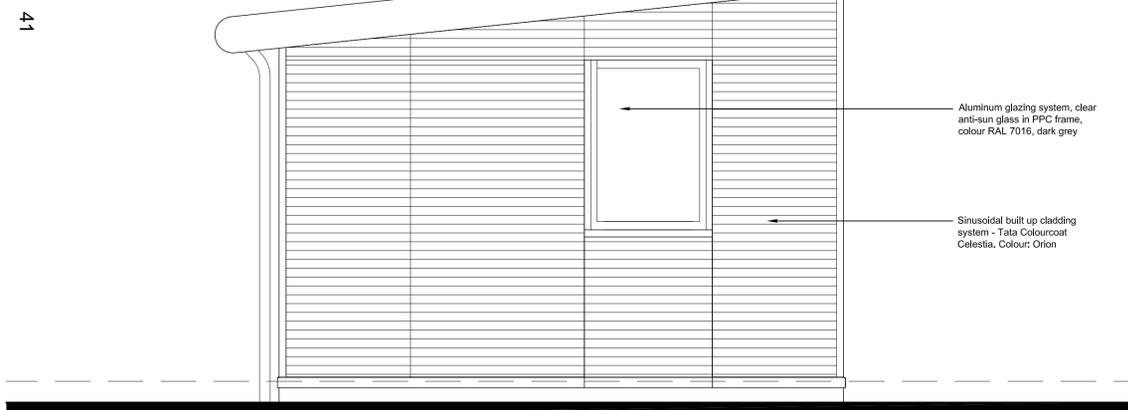
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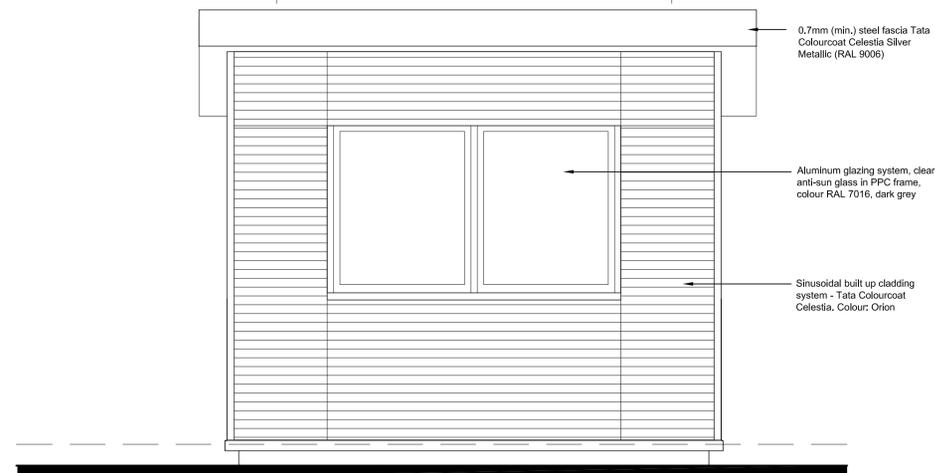
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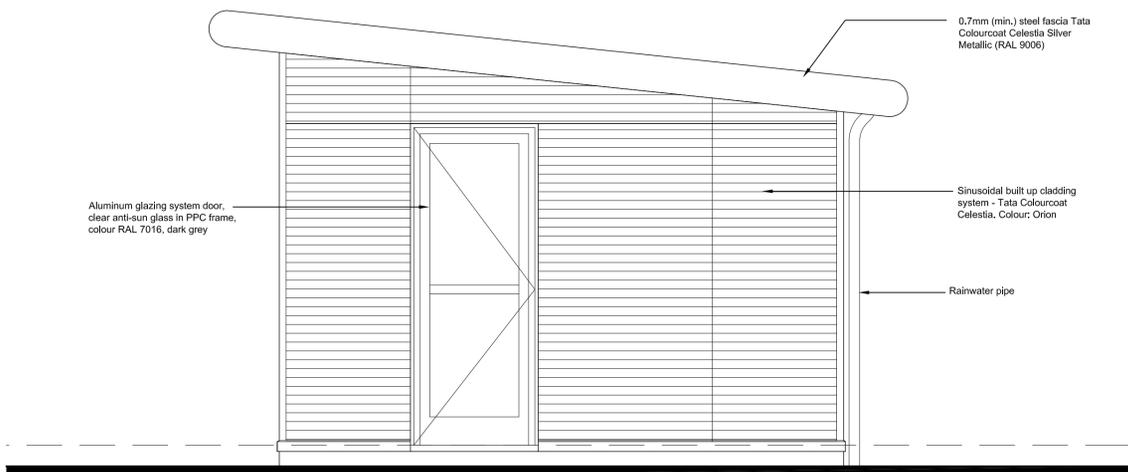
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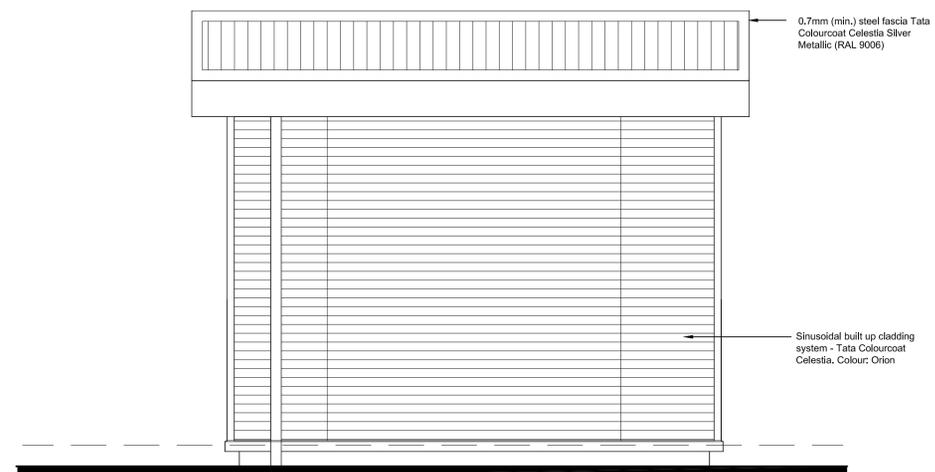
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109 05 South Elevation 1:25



109 03 East Elevation 1:25



109 06 North Elevation 1:25



PLANNING				
REV	DATE	COMMENT	DRAW	CHK
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Standard Life Investments

TITLE
 SUTTONS BUSINESS PARK, READING

DRAWING
 SECURITY HUT DETAILS

CLIENT
 STANDARD LIFE INVESTMENTS

DATE APRIL 2016	SCALE 1:25 @ A1	DRAWN SD
	STATUS PLANNING	CHECKED MS

DRAWING NUMBER
 30746-PL-109

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GPV

FROM: Graham Vaughan Telephone: 0118 974 6694

DATE: 29 April 2016

EARLEY TOWN COUNCIL PARISH CONSULTATION SHEET

Application Number: 161066

Proposal: Full application for the demolition of existing Class B1 office buildings (Units 68 and 69) and the erection of three Class B2/B8 industrial units with ancillary office space and car parking/ landscaping, refurbishment of existing Class B8 storage and distribution building (Unit 27-28) and reconfiguration of car parking area; the erection of a new Class B2/B8 industrial unit with ancillary office space together with new car parking and landscaping; erection of a new security hut. .

Site Address: Units 27, 28, 68 And 69, Suttons Business Park, Suttons Park Avenue, Earley, RG6 1AZ.

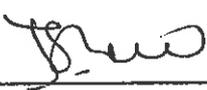
Applicant: The Owner and/or Occupier.

Your observations are required in respect of this application by 27/05/2016.

Please send comments by Email to: planning.enquiries@wokingham.gov.uk

In considering this proposal, Councillors note from plan 30746-PL-110 that the red line appears to cut through an existing building (Unit 21) which renders the proposal unviable.

Councillors request that a condition be implemented to maintain access so the proposal does not require additional access from the roundabout.

SIGNED:  DATE: 17-5-16

Clerk To Earley Town Council Parish/Town Council.

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Agenda Item 16.

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
161123	8/8	Wokingham	Norreys	N/A

Applicant Wokingham Borough Council
Location Cantley Sports Centre, Cantley Park, Twyford **Postcode** RG40 5QG Road, Wokingham, Berkshire
Proposal Full application for proposed construction of 3 new tennis courts and pavilion including associated court lighting, fencing, car park and access
Type Full Application
PS Category Minor all other developments
Officer Alex Thwaites

FOR CONSIDERATION BY Planning Committee on 22 June 2016
REPORT PREPARED BY Head of Development Management and Regulatory Services

SUMMARY

The application site is located in Cantley Park, North Wokingham, adjoining the North Wokingham Strategic Development Location (SDL) and is used for recreation and leisure purposes. Cantley Park is set within twenty nine hectares of parkland off Twyford Road. The existing facilities on the site include full size and junior football pitches, a floodlit artificial pitch, nine tennis courts, a play area, events field, and ancillary buildings such as changing facilities and public toilets.

The application is to provide three new courts and a pavilion immediately adjacent to the existing nine tennis courts. With regard to the tennis courts, these are proposed to be new 31.7m x 34.75m double tennis courts located side by side with a porous macadam surface to meet the LTA (Lawn Tennis Association) Facility Guidance. A three metre high fence and court lighting will be provided. With regard to the proposed pavilion this is required for ancillary functions to the tennis courts, so the single storey modular structure will provide a player's club room, a manager's office and a disabled WC.

The application is proposed due to the recent submission and approval of the re-development of Elms Field in Wokingham town centre (application number 153125). Following the approval of the application the re-development will require the relocation of the existing low quality tennis courts and this application represents an acceptable mitigation through the improvement of facilities through the construction of higher quality, LTA standard, tennis courts (and netball court) and facilities.

PLANNING STATUS

- North Wokingham Strategic Development Location
- Countryside
- Public Open Space
- Ground Water
- 7km linear distance of the SPA (*Officer Note: this is not an issue in this case as the proposal does not involve residential development*).

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

Conditions and Reasons

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: *In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*
2. This permission is in respect of the submitted application plans and drawings numbered 'External Floodlighting', '2714/BT/A101', '2714/BT/A102', '2714/BT/A103' and '2714/BT/A104' received by the local planning authority on 25/04/16. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.
Reason: *For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*
3. Before the development hereby permitted is commenced, samples and details of the materials to be used in the construction of the external surfaces of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.
Reason: *To ensure that the external appearance of the building is satisfactory.*
Relevant policy: *Core Strategy policies CP1 and CP3*
4. Before the development hereby permitted is commenced details of all boundary treatment(s) and Tennis Court enclosure details shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.
Reason: *In the interests of amenity and safety.*
Relevant policy: *Core Strategy policies CP1, CP3 and CP6*
5. The floodlighting hereby approved shall be designed and positioned so as to avoid the direct illumination of houses in the vicinity, with no more than 10 lux horizontal overspill at a distance 55m south of the proposed site.
Reason: *In the interests of visual amenity.* Relevant policy: *Core Strategy policies CP1, CP3 and CP6*
6. The floodlights hereby permitted shall not operate other than between the hours of 08:00 to 22:00.
Reason: *In the interests of visual amenity.* Relevant policy: *Core Strategy policies CP1, CP3 and CP6*
7. Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be agreed in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and

structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)

8. a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been agreed in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).

b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and [Managing Development Delivery Local Plan policies CC03 and TB21

PLANNING HISTORY

05467	28/10/1976 – planning permission granted for the change of use of land to public playing fields.
	Following subsequent applications for changing facilities, tennis

F/2007/2722	courts, all weather football and hockey pitches, ancillary facilities including storage and floodlighting of the tennis courts. Improvements to pedestrian access, provision for car parking overspill facility and siting of a football pitch with stand and floodlighting facilities.
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SUMMARY INFORMATION

Site Area	0.96
Previous land use(s) and floorspace(s)	Sport and recreation
Proposed floorspace of each use(s)	35 square metres of internal floorspace proposed as plus three 31.7m x 34.75m double tennis courts
Existing parking spaces	38 standard plus 1 disabled

CONSULTATION RESPONSES

WBC Landscape and Trees	No objection in principle but recommend some additional planting
WBC Environmental Health	No Comment
WBC Biodiversity Officer	No objection subject to the lighting strategy being implemented
WBC Highways Officer	No objection
WBC Parks, Open Space and Green Issues	No Comment
WBC Property Services	No Comment
WBC Sports Development (Places and Neighbourhoods)	No Comment
Sports England	No objection
Wokingham Town Council	No objection providing the current hours of operation of court lighting are not exceeded.
Wokingham Society Planning Officer	No objection: however comments raised on a discrepancy between plans and design and access statement. Also comments regarding the existing wildflower planting area (<i>Officer note: the discrepancy was regarding the design of the proposed pavilion, confirmation that the proposal included pitched roof was received from the applicant</i>).

REPRESENTATIONS

Local Residents:
 One letter of objection with comments regarding:

- Use of the pavilion (*Officer note: the pavilion will be operated by a Tennis Operator which will be out to tender if permission is approved*)
- Floodlighting and relationship with All Saints Close (*Officer note: the proposal includes a lighting scheme which has been considered*)
- Loss of 'Kick about' goal posts (*Officer note: these will be relocated for continued use*)
- Need for the courts? (*Officer note: the proposal has been submitted by Wokingham Borough Council following the loss of tennis courts following the approval of the redevelopment of Elms Field in the town centre*)

Two letters received with comments regarding:

- Elms Field had four tennis courts but the proposal is for three (*Officer note: the tennis courts and facilities at Elms Field were considered to be substandard by Sports England (that was in WBC control so don't mention removal of nets), and the proposed three new courts (including netball court) and improved facilities are proposed to be LTA standard and of a much higher quality*)
- How will the Tennis Courts be controlled / be accessed? (*Officer note: the proposal includes parking, a club house with a manager's office and pathways to all courts*)
- Are new courts provided? (*Officer note: a net increase of three new courts are proposed above the existing nine courts*).

Other non material comments;

- Unable to view plans / lack of information online. (*Officer note: while not a planning issue the plans are available on the internet for viewing and the all documents are public*)

PLANNING POLICY

National Policy

National Planning Policy Framework 2012

Technical Guidance to the National Planning Policy Framework 2012

South East Plan 2009

Saved policy NRM6 - Thames Basin Heaths Special Protection Area

Wokingham Borough Core Strategy policies:

CP1 - Sustainable Development

CP2 - Inclusive Communities

CP3 - General Development Principles

CP4 - Infrastructure Requirements

CP6 - Managing Travel Demand

CP7 - Biodiversity

CP8 - Thames Basin Heaths Special Protection Area

CP9 - Scale and Location of Development Proposals

CP10 - Improvements to the Strategic Transport Network

CP11 - Proposals outside Development Limits (including countryside)

CP20 – North Wokingham Strategic Development Location

Appendix 7 – Additional Guidance for the Development of Strategic Development Locations

Managing Development Delivery Document (Local Plan) (adopted February 2014)

CC01 – Presumption in Favour of Sustainable Development

CC02 – Development Limits

CC03 - Green Infrastructure, Trees and Landscaping

CC04 - Sustainable Design and Construction

CC05 - Renewable energy and decentralised energy networks

CC06 - Noise

CC07 - Parking

CC09 - Development and Flood Risk (from all sources)

CC10 - Sustainable Drainage

TB21 - Landscape Character
TB23 - Biodiversity and Development
SAL05 - Delivery of Avoidance Measures for the Thames Basin Heath Special Protection Areas

Supplementary Planning Documents

North Wokingham Borough Council Strategic Development Location Supplementary Planning Document (October 2011)
The Council's parking standards as set out within appendix 2 of the Managing Development Delivery Local Plan and referred to in para 4.38 of the Core Strategy

PLANNING ISSUES

Principle of Development

1. The application site is located within Wokingham on the existing sports facility immediately adjacent to the boundary of the North Wokingham Strategic Development Location. Core Strategy policy CP11, Proposals outside Development Limits, establishes the principle for outdoor sport or countryside recreation providing the scale, form, design and character are appropriate to the location. As discussed, the site is already in recreational use and therefore the principle of the development is considered acceptable in this case.

Site Description

2. The site application site is located within the existing Cantley Park, located in north Wokingham. The site is accessed via vehicles off Twyford Road (A321) and by foot or cycle paths off various surrounding roads such as Bell Foundry Lane, Wiltshire Road and Milton Road. The existing facilities in Cantley Park consist of a theatre, a hockey club, pavilion including changing facilities and toilets, a hotel and various different pitches or areas for leisure recreation and activities. The actual site is centrally located within the park and includes the existing nine tennis courts and access immediately adjacent the existing car park and is relatively flat, gently sloping upwards to the south. To the south of the site is open space, while to the north and north-west are the existing facilities (pitches etc).
3. The Strategic Development Location (SDL) of North Wokingham's boundary sits to the north of the site above the access to the tennis courts, therefore the proposal must be considered in the wider context.

Background of the Application:

4. Following the approval of application ref: 153125, which relates to the re-development of Elms Field within the town centre of Wokingham, the works include the removal of the existing tennis courts. This application relates to mitigation of the loss of those courts with the proposed three new courts, including netball court and facilities.
5. The existing courts that are to be removed within the approved application in the town centre were of low quality and didn't include such facilities as flood lighting .

Impact on the Character of the Area:

6. It is proposed to construct three new 31 .7m x 34.75m double tennis courts located side by side to and orientated North to South as recommended by the Lawn Tennis Association (LTA). The proposed tennis courts would be

constructed with a porous macadam surface with an acrylic surface coating to meet the LTA Facility Guidance. Additionally a 3m high fence will be provided to the full perimeter of the new courts to LTA specification and the introduction of flood lights to both the existing courts and proposed.

7. Additionally the proposal includes the erection of a single storey modular building adjacent to the existing courts and parking area. The proposal would include a player's club room, a manager's office, a disabled WC and a covered shelter. In total the proposal would be 10.3 metres by 7.6 metres with 29.2m² indoor area. The proposal will include fenestration on the east and south facing side of the unit, and include a pitch roof. The proposal also includes the pavilion being clad in wood and therefore giving it a more sympathetic design, this can be secured via condition to allow a quality finish to the structure.
8. As discussed previously, the proposal is located immediately adjacent to the existing tennis courts, as well as the soft play area and car park. While the proposal increases to the amount of built form within the open environment, the courts and building structure are located within the existing development area in the park and are well screened by the existing boundary landscaping. The established use of recreation and leisure allows for the extent of built form to be extended as proposed in an acceptable manner. The clubhouse is a low profile building and the size of it is acceptable for its intended use. In addition the proposal is not considered to cause significant detriment to the area.
9. The proposal also includes the provision of floodlights to both the existing courts and the proposed courts. The proposed floodlights are 10 metres in height and are inward facing onto the court surface. Cantley Park has an existing use as a recreational facility and there are existing floodlights used on the all-weather playing surface, which are 15 metres in height. Therefore the proposal is not considered to be something that is considerably harmful to the existing area and the use of the floodlights (hours of operation) is subject to condition.

Impact on Residential Amenity:

10. The proposal is located within Cantley Park and therefore sited away from immediate neighbouring dwellings. The nearest neighbouring properties to the site are the dwellings located at the end of Deacon Close and All Saints Close to the east of the proposal. These are screened somewhat by existing landscaping and are approximately 150 to 160m away from the proposal. In terms of built form impact, the separation distances are such that the proposal is not considered to cause a detrimental impact on these properties.
11. With regard to the floodlighting for the proposal, a lighting scheme has been submitted with the application. The scheme shows the floodlighting level reducing relatively rapidly from its source; lux levels at the boundary of the site are shown to be 2 lux and therefore is not considered to cause significant light impacts to residents. Equally, the hours of use of the floodlights would be conditioned to reduce harm in the evenings/night. This would be in line with the previous application on the site for the all-weather pitch and associated floodlighting. On this basis the proposals are considered acceptable.

Access and Movement:

12. Cantley Park is accessed off Twyford Road (A321) in north Wokingham. The site

is located at the end of the existing access road, immediately adjacent to the existing car park for the tennis courts. For clarity the proposal does not seek to provide any additional car parking facilities, the Highways Officer is satisfied that the existing provision is adequate for both the existing situation and proposed development.

Trees and Landscape Issues:

13. The site is located just outside the Wokingham settlement boundary in the countryside and in Landscape Character Area J1 ' Wokingham and Winnersh Settled and Farmed Clay' , features of this landscape type include;

- An agricultural landscape greatly influenced by urban development.
- Abrupt rural-urban interface due the contrast of open arable fields abutting suburban style estates with important areas of agricultural land preventing amalgamation of Winnersh- Wokingham.
- Urbanisation of rural land due to landscape detailing such as street lighting, roadside kerbing, municipal character of street furniture and ornamental garden planting such as coniferous hedges.
- Pylons and posts carrying overhead wires are striking vertical elements across the arable fields.

14. The overall strategy is to enhance the existing character and condition of the landscape – improving the interface between urban edges and open field by renewing /creating landscape character whilst respecting the sensitivities and qualities of the existing landscape. The landscape strategy is to continue the increase the extent of native deciduous woodland using natural regeneration or locally occurring native species, and provide areas of coppice sympathetic to landscape character which should also seek to integrate other uses such as recreation and nature conservation to enhance landscape value.

15. Sympathetic integration of new recreational features in areas of low tranquillity close to major built up areas where this landscape could be an ideal location to develop the recreation potential. The proposed development does not include landscaping, it is noted that the landscaping officer has recommended additional planting as part of the scheme. However this landscaping can be secured by condition.

Biodiversity Issues:

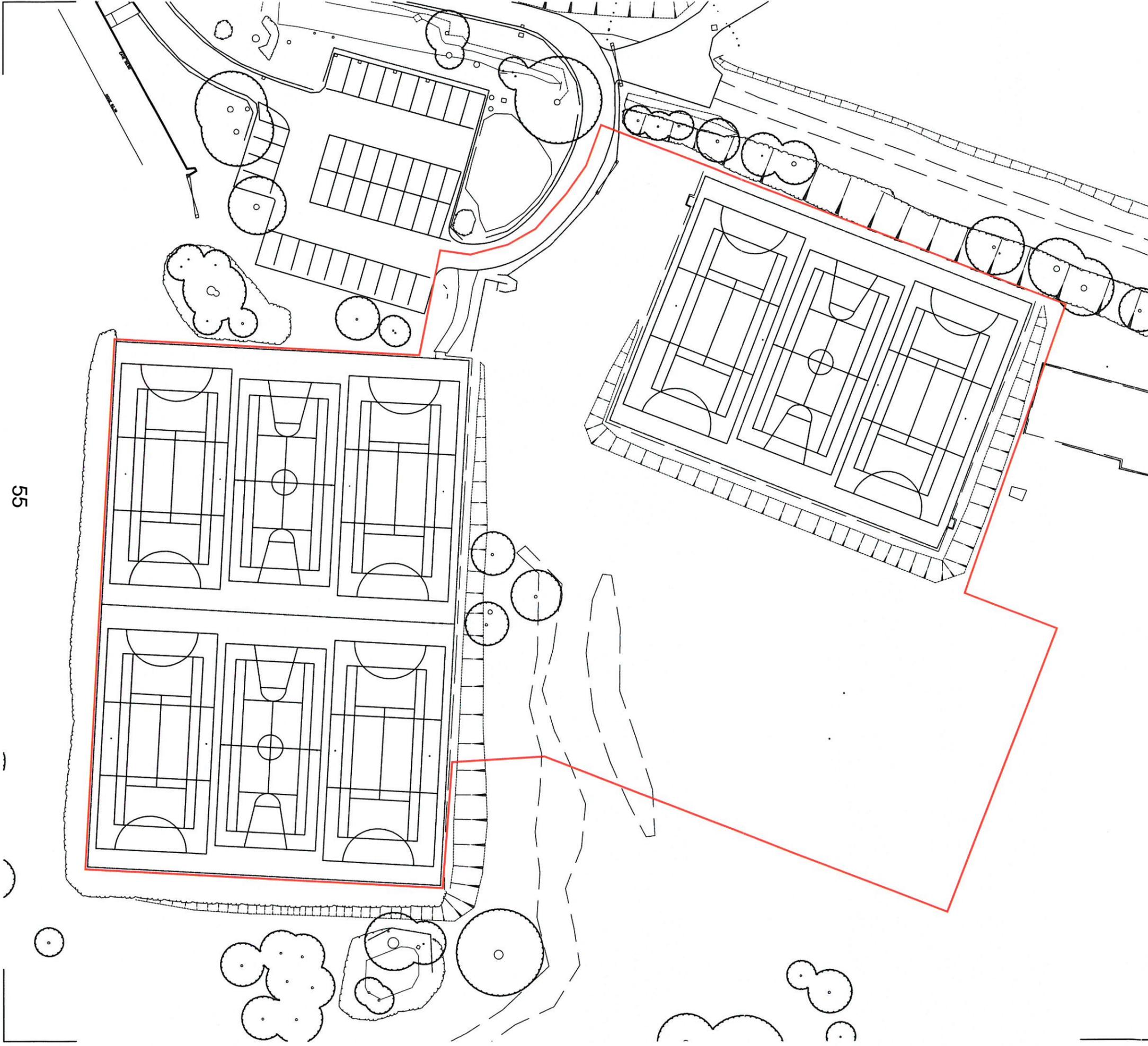
16. The proposal includes the use of floodlighting within an area of open space however the lux level plan shows the light spillage reduces quickly from the courts. As such impacts to ecology will be limited and the lights will be turned off by 22:00hrs. As such there are no significant impacts to ecology within the local area.

CONCLUSION

The proposal will provide enhanced facilities at Cantley, namely three floodlit tennis courts, netball court and changing / w/c facilities which will benefit the residents of Wokingham. It will also mitigate the loss of the courts from the town centre and will aid the Council's aspiration to improve Cantley sports facilities. There are no significant impacts to neighbouring resident's amenities or to local ecology. For these reasons the proposals is considered acceptable.

CONTACT DETAILS		
Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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161123

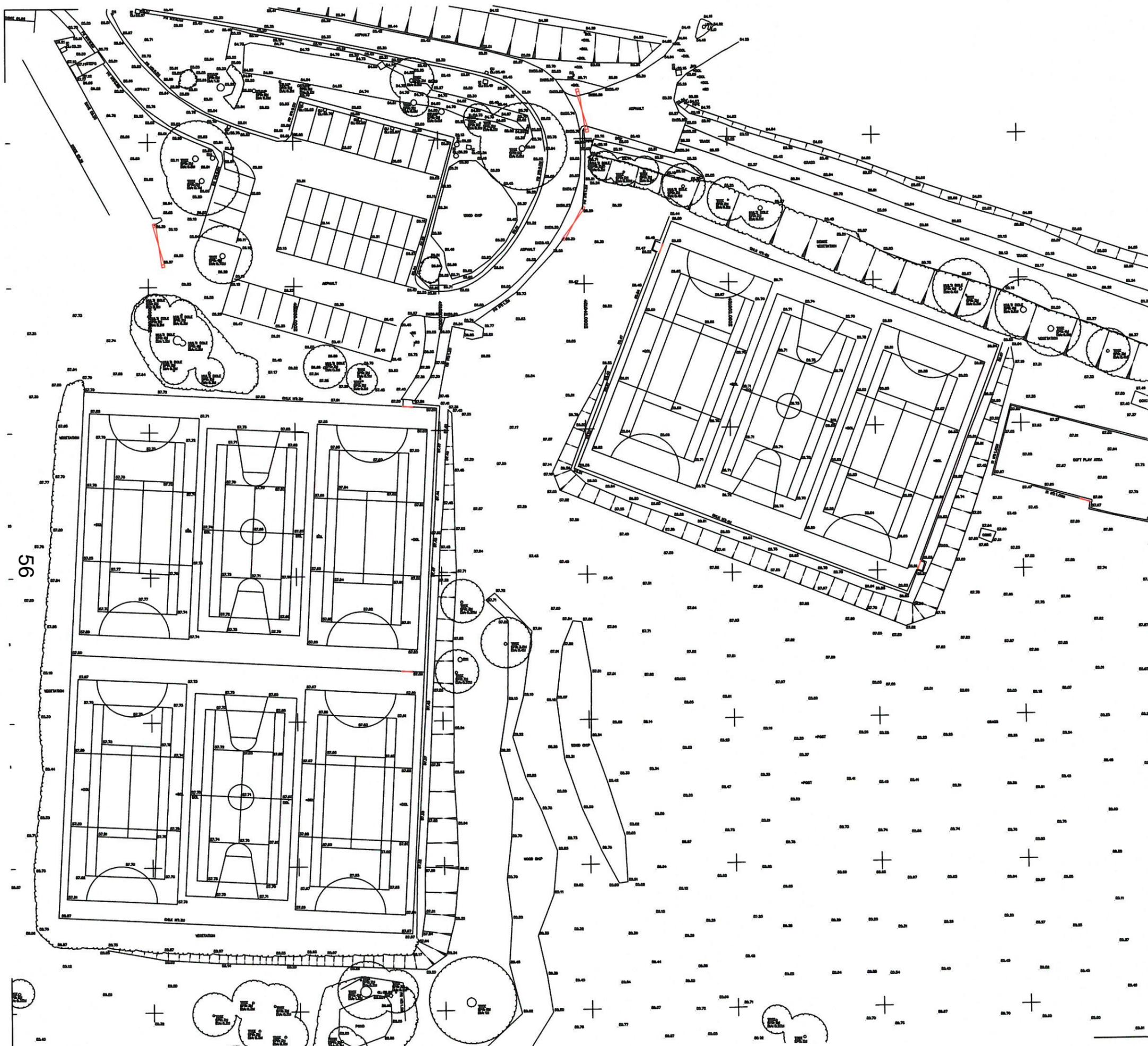
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Project: Cantley Park Tennis Court			
Drawing: Existing Site Plan			
Date: 5/4/2016	Scale: 1:500	Size: A3	Drawn By: JC
Drg No: 2714/BT/A101			Rev:



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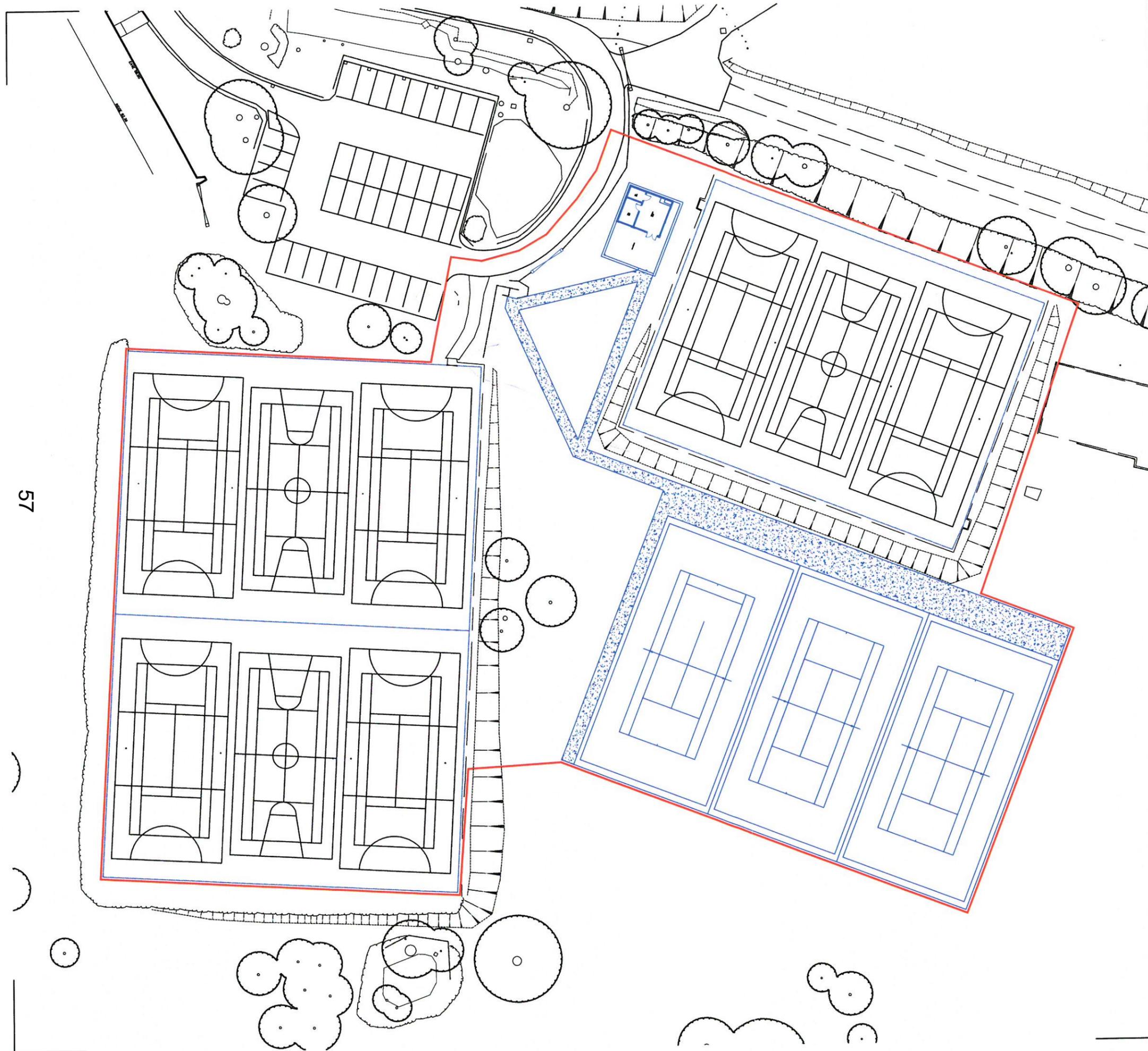
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Project: Cantley Park Tennis Court			
Drawing: Existing Topographical			
Date: 5/4/2016	Scale: 1:500	Size: A3	Drawn By: JC
Drg No: 2714/BT/A104			Rev:



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Client: _____

Project:
Cantley Park Tennis Court

Drawing:
Proposed Site Plan

Date: 5/4/2016 Scale: 1:500 Size: A3 Drawn By: JC

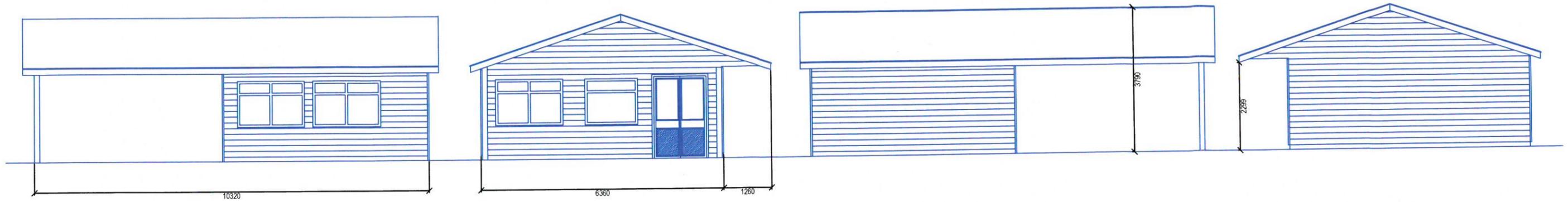
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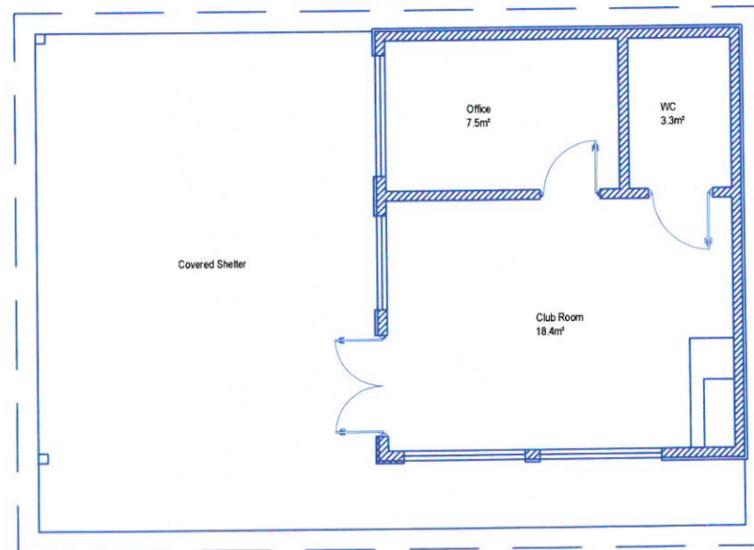
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Client:			
Project: Cantley Park Tennis Court			
Drawing: Proposed Floor Plan & Elevations			
Date: 5/4/2016	Scale: 1:100	Size: A3	Drawn By: JC
Drg No: 2714/BT/A103			Rev:



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From: [Mike Dunstan](#)
To: [Planning Enquiries](#)
Subject: Comments on 161123 Cantley Sports Centre
Date: 12 May 2016 13:51:28

161123 Cantley Sports Centre
Full application for proposed construction of three new tennis courts and pavilion including associated court lighting, fencing, car park and access.

Planning Officer: Alexander Thwaites

No objection providing the current hours of operation of court lighting are not exceeded.

Regards

Mike Dunstan
Planning & Transportation Officer

Wokingham Town Council
Town Hall
Market Place
Wokingham
RG40 1AS

Tel: 0118 978 3185
Direct Tel: 0118 974 0885
www.wokingham-tc.gov.uk



Visit www.whatsoninwokingham.co.uk for more information about Wokingham events in addition to the Farmers' Market and of course the weekly markets.

Thames and Chilterns in Bloom:
Silver Gilt award winner 2015
Regional award winner for 'Greener Streets: Better Lives' 2015.

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Agenda Item 17.

Development Management Ref No	No weeks on day of committee	Parish	Ward	Listed by:
161009	10	Woodley	South Lake Ward	Council's own Development

Applicant	Mrs Anju Sharma		
Location	Highwood Primary School, Fairwater Drive, Woodley	Postcode	RG5 3JE
Proposal Type	Full Major (all other developments)		
PS Category	PS6		
Officer	Daniel Ray		

FOR CONSIDERATION BY Planning Committee on 22 June 2016
REPORT PREPARED BY Head of Development Management and Regulatory Services

SUMMARY

This application proposes the introduction of a single mobile class room to provide additional teaching space for an expected additional intake of 30 students. An increase of two additional staff would be required bringing the total number of staff (full and part time) on the site to 48 (36 of which are associated directly with the Highwood School).

The classroom would be sited on the western boundary immediately to the north of the existing school building. The original plans outline that the classroom would be sited within an area that is affected by mature trees that are protected by a TPO. A request has made for the classroom to be sited 5 metres to the east so that no issue in terms of the potential impact on these protected trees occurs. Amended plans are awaited

Concern had been raised by the Town Council and a resident regarding parking provision and also the impact on already congested streets generated by additional students. A traffic study was subsequently submitted that outlined that there were currently 45 car parking spaces of which only 37 were utilised at the time of the study. The study was undertaken on a typical school day in January 2016. 45 car parking spaces (plus 3 disabled bays) is considered an acceptable number of spaces for 48 staff members. Cycle parking provision is also available on site. No objection was made by Highways regarding the impact of the increase in the number of students on nearby streets.

Subject to the use of appropriate conditions and the receipt of an amended plan moving the classroom 5 metres to the east within the site, the development is considered acceptable.

PLANNING STATUS

- Major Development (Woodley)
- Contaminated Land Consultation Zone
- Sand and Gravel Extraction
- Gas Pipes Consultation Zone

RECOMMENDATION

That the application is approved subject to the following conditions;

A. Conditions and informatives:

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered TO BE CONFIRMED received by the local planning authority on TO BE CONFIRMED. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. External materials

The development shall be carried out in accordance with the submitted details, Roof: Bitumen Mineral Felt Finish in grey; Walls: Blue Painted Textured Finish; Windows and Doors: White UPVC; Ramps and Steps: Timber Hit and Miss boarding to close mobile, ramp and step substructures. Development shall not be carried out other than in accordance with the so-approved details.

To ensure that the external appearance of the building is satisfactory.

Relevant policy: Core Strategy policies CP1 and CP3

4. Hours of construction

No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

5. Travel Plan

Prior to the first occupation of the classroom an updated Travel Plan shall be submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.

Informatives

The requisite Travel plan would need to comply with the latest national and local guidance:

- 1) NPPF Section 4 (Sustainable Transport)
- 2) The Essential Guide to Travel Planning (DfT, March 2008)
- 3) Delivering Travel Plans Through the Planning Process (DfT, April 2009)
- 4) A Guide on Travel Plans for Developers (DfT)
- 5) Making Residential Travel Plans Work (DfT, June 2007) All accessible at:
<http://www.dft.gov.uk/pgr/sustainable/travelplans/>
<https://www.gov.uk/government/policies/improving-local-transport>

Also:

WBC Transport Plan 3 and Active Travel Plan 2011 – 2026

WBC Workplace Travel Plan Guidance and Residential Travel Plan Guidance

Documents, covering workplace travel plans and residential travel plans provide local guidance and are available on the Borough's website.

PLANNING HISTORY

Lengthy planning history, of which there are none relevant to this specific application.

SUMMARY INFORMATION

Site Area	24,146sqm
Proposed and existing land use	D1 – Non-residential Institution
Change in floor space	73.7sqm
Change in parking spaces	None; 45 spaces across 2 car parks
Existing pupil capacity	210
Proposed Pupil capacity	240
Existing Staff capacity	46
Proposed Staff Number	48

CONSULTATION RESPONSES

Woodley Town Council	Woodley Town Council have raised concerns that the proposed additional accommodation at the school would lead to an increase in pupil numbers and a consequent exacerbation of parking problems in the vicinity of the school, particularly in Fairwater Drive and Kingfisher Drive, when parents are dropping off and picking up their children.
Local Members	None
Environmental Health	No comments or objections to make.
Highways	Following the submission of a traffic study, parking details and staff numbers, Highways have no objection to the proposal.
Landscape and Trees	The proposed classroom would be in a location affected by mature TPO trees. In order for the proposal to be acceptable and require no conditions relating to the protection of trees, the class room should be sited 5 metres to the east to ensure there are no issues relating to the protected trees.

REPRESENTATIONS

- Two letters were received from local residents, one letter was in support of the application the second raised concern with the increase in traffic

APPLICANTS POINTS

- None

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP15	Employment Development
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development

	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC07	Parking
	CC10	Sustainable Drainage
	TB21	Landscape Character
	TB23	Biodiversity and Development
	TB24	Heritage Assets
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide

PLANNING ISSUES

Description of development and site

1. The scheme is for the erection of a temporary classroom building on the western boundary of the site, to the north of the main school. The classroom would have a floor space just under 74sqm, would have blue external walls under a grey coloured flat roof with white UPVC doors and windows. The structure would be served by a ramp for ease of access.

Principle of Development

1. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
2. The site is located within a major development location and within a settlement boundary and as such the development should be acceptable providing that it complies with the principles stated in the Core Strategy. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers and this is discussed below.
3. Paragraph 72 of the NPPF states that great importance should be attached to ensuring that sufficient choice of school places are available to meet the needs of existing and new communities. It also states that Local Planning Authorities should take a proactive, positive and collaborative approach to meeting this requirement, and should look to approve development that will widen choice in education. The NPPF states that weight should be given to the need to create, expand or alter schools.
4. Given that national and local policy encourages the expansion of schools, the proposal is acceptable in principle, subject to other material considerations.

Impact upon the Character of the Area

5. The proposed development would not have a detrimental impact on the character or appearance of the area. The temporary classroom is of a design not unexpected within a school environment and would be screened to the west by mature trees. The classroom would be sufficiently contained within the site that there would be no views of the structure outside the confines of the school that would be considered harmful to the character of the area. Overall, the introduction of the classroom is considered to have a neutral impact on the wider vernacular.

Access and movement

6. Concern has been raised by the Town Council and a local resident that the existing infrastructure and parking would not be able to accommodate an increase in pupils or have enough parking for additional staff. The proposed development outlines that a net increase of two additional staff members will be present, however a transport study has been undertaken which outlines that there are currently 45 parking spaces across two parking areas within the school.
7. The study was undertaken on the 19th January 2016 which is a typical school day. Of the 45 parking spaces only 37 of the spaces were utilised. The existing number of spaces is considered acceptable and as such there would be no off site impact as a result of two additional staff members should they travel to the site by car.
8. It is accepted that with an additional 30 students expected to start in September 2016 there will be an increase in travel to the site before and after school, however no objection has been raised in terms of highway infrastructure capacity nor are any concerns raised with regard to current drop-off/pick-up arrangements by the highways team.
9. As such the proposed development would have no detrimental impact on highway safety and adequate parking for staff is present.

Residential Amenities

10. The proposed classroom is set sufficiently far from any neighbouring residential properties that there would be no impact in terms of overlooking, overbearing or overshadowing issues. The classroom would be sited towards the western boundary of the site with the school itself is between the classroom and the nearest neighbouring dwellings.

Trees and Landscape

11. No objection in principle has been raised by the Trees and Landscape team with regard to the proposed development having an impact on the character of the area. Notwithstanding this, the proposed development is adjacent to a protected group of trees (by way of TPO) that may be effected by the proposed development. To ensure no impact takes place to these trees and to avoid any restrictive pre-commencement conditions, the re-siting of the temporary building 5 metres to the east would allay any concerns raised. As such a request for this

to take place has been made with the applicant and the outcome of which shall be reported at committee.

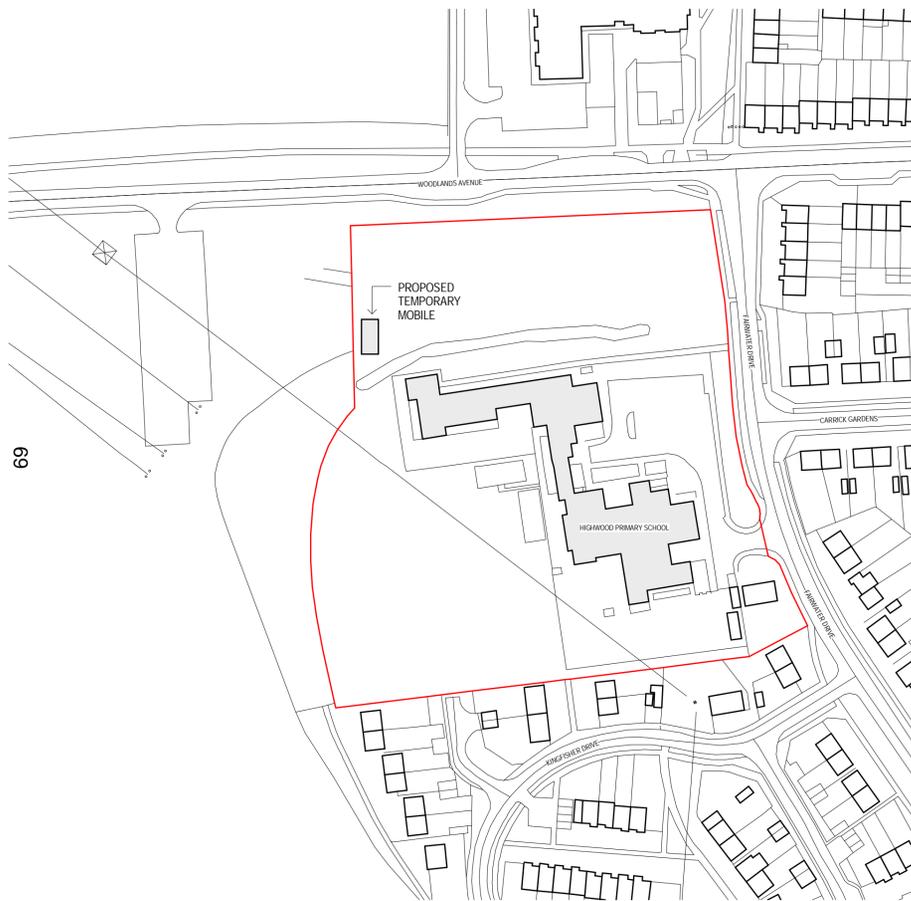
CONCLUSION

Subject to the use of appropriate conditions and the receipt of a revised block plan showing that that the proposed classroom is set 5 metres to the east of its proposed location, the development would have no detrimental impact on the protected trees or any nearby residential occupiers. Whilst concern has been raised that the proposal would lead to an increase in staff numbers without the adequate provision of additional parking, and additional students increasing the level of pick-up/drop-off within nearby residential streets; adequate parking will be retained on site and no objection from highways has been raised in terms of the impact of the increase in number of traffic movements to the site.

CONTACT DETAILS

Service	Telephone	Email
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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Site Location Plan
1:1250

69



Site Block Plan
1:500

General Notes

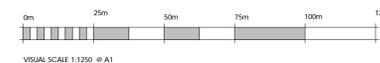
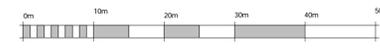
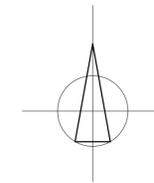
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CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

PRINCIPLE DESIGNERS HAZARD INFORMATION FOR CONSTRUCTION

The notes below refer specifically to the information shown on this drawing. Refer to the Construction Phase Health and Safety Plan for further information.

- 1) If you do not fully understand the risks involved during the construction of the items indicated on this drawing ask your Manager, Health and Safety Advisor or a member of the Design Team before proceeding.



Rev	Date	Item	By	Chkd
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Revisions

D1 PLANNING

Status Code Issue Purpose

ermc
ARCHITECTURE
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Wiltshire
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E: admin@ermc.co.uk
W: www.ermc.co.uk

Architectural Technologists - Quantity Surveyors
Project Managers - CDM Co-ordinators

Client

Wokingham Borough Council

Project Title

Proposed Temporary Mobile Unit at
Highwood Primary School
Fairwater Drive, Woodley, Reading RG5 3JE

Drawing Title / Description

Site Block & Location Plan

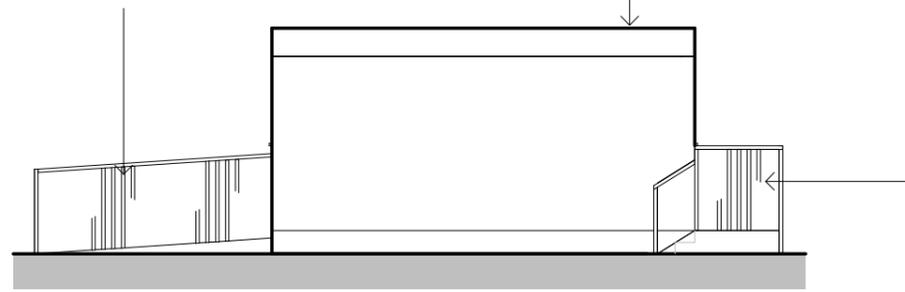
ERM Project Ref.	Scale	Date	Drawn	Chkd
2094	As indicated @ A1	08/03/16	CM	RJA

Client Code	Originator	Zone	Level	Type	Role	Drawing No.	Rev.
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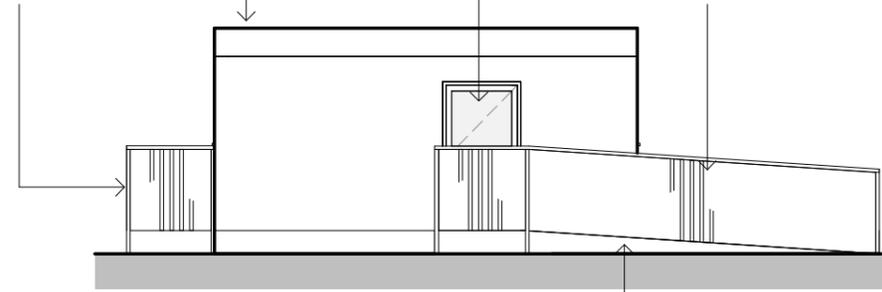
NOTE:
THIS DRAWING TO BE READ IN
CONJUNCTION WITH DRAWING
2094-EA-00-00-DR-A-0041

TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS
FLAT ROOF
TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS



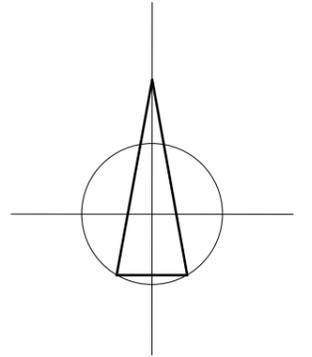
1 **North Elevation**
1:100

TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS
FLAT ROOF
UPVC DOUBLE GLAZED DOOR
TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS

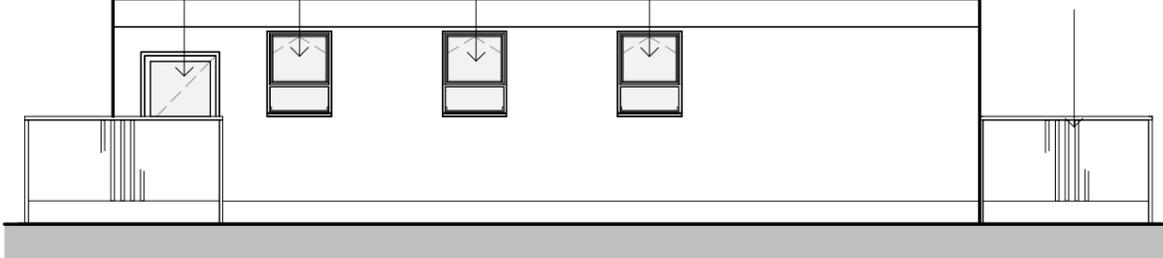


4 **South Elevation**
1:100

TIMBER RAMP AT
MAX 1:15

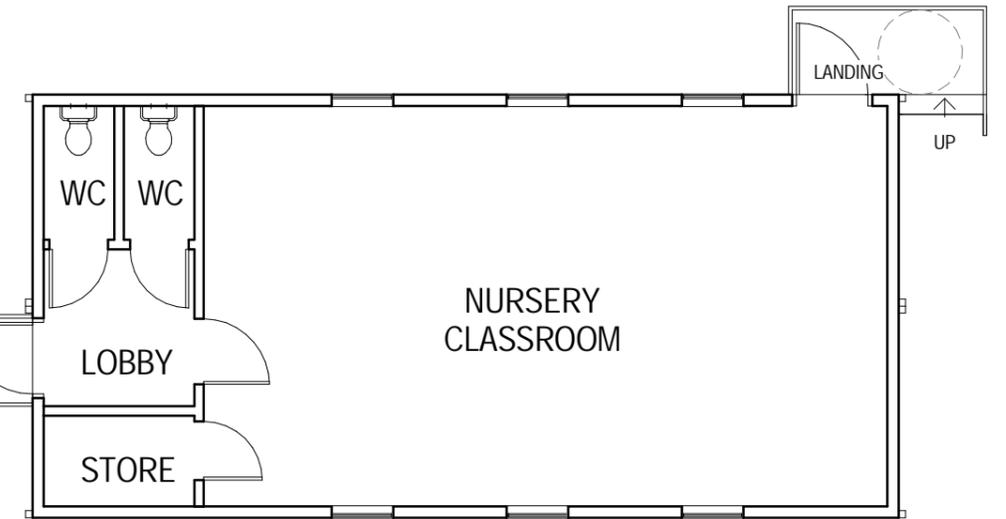
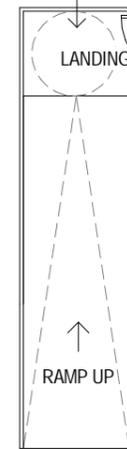


UPVC DOUBLE GLAZED DOOR
UPVC DOUBLE GLAZED WINDOWS
FLAT ROOF
TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS



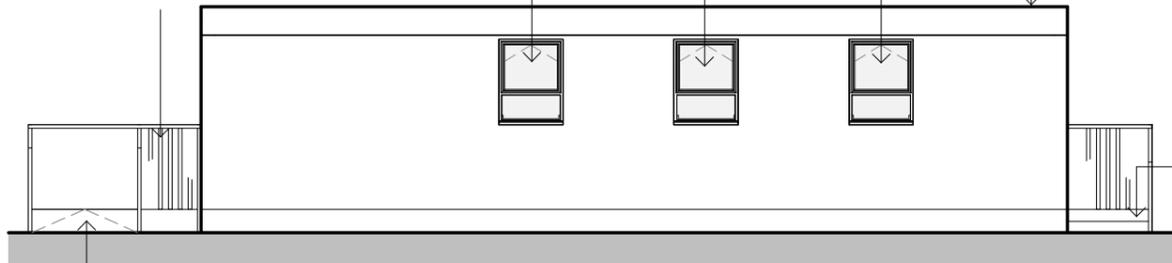
2 **East Elevation**
1:100

WHEELCHAIR
TURNING CIRCLE

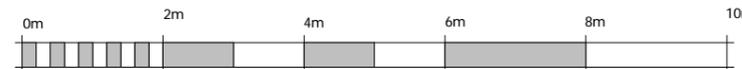


5 **Temporary Mobile Layout Plan**
1:100

TIMBER BALUSTRADE & UP RIGHTS AT MAXIMUM 95mm SPACINGS
UPVC DOUBLE GLAZED WINDOWS
FLAT ROOF
STEPS UP



3 **West Elevation**
1:100



VISUAL SCALE 1:100 @ A1

Rev	Date	Item	By
Architectural Technologists Project Managers		Quantity Surveyors CDM Co-ordinators	
18 Enterprise House Cherry Orchard Lane Salisbury Wiltshire SP27LD T: 03300 240365 E: admin@ermc.co.uk W: www.ermc.co.uk			
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Project Title Fairwater Drive, Woodley, Reading RG53JE	Status Code D1	Issue Purpose PLANNING	Client Wokingham Borough Council	ERM Project Ref. 2094	Scale 1:100 @ A3	Date 08/03/16	Drawn CM	Ch'kd CIC
Drawing Title Proposed Temporary Mobile	ClientCode 2094	Originator EA	Zone 00	Level 00	Type DR	Role A	Drawing No. 0042	Rev.

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Woodley Town Council

Clare Lawrence - Team Leader Development Management
Wokingham Borough Council
Shute End
Wokingham
Berkshire

Deborah Mander - Town Clerk
The Oakwood Centre
Headley Road
Woodley
Berkshire
RG5 4JZ

Telephone 0118 9690356

Fax

Case Officer : Daniel Ray

Date 18/05/2016

Application No :161009

Type : Full

Status : 0 New Application

Date Received : 26/04/2016

Applicant : Mrs Anju Sharma
Wokingham Borough Council
Civic Offices
Shute End
Wokingham
RG40 1BN

Agent/Architect : Mr Chris Chatwin
ERMC Ltd
Granary Court, 128 Pyle Street
Newport
PO30 1JW

Location : Highwood Primary School
Fairwater Drive
Woodley
RG5 3JE

Parish :

N.G.R. :

Road Class :

Proposal : Full planning application for the proposed erection of a single temporary accommodation building.

TOWN AND COUNTRY PLANNING ACT 1990 - LOCAL COUNCIL OBSERVATIONS

Woodley Town Council have considered the Application No 161009 and observations thereon are as follows :

The Committee had concerns that the proposed additional accommodation at the school would lead to an increase in pupil numbers and a consequent exacerbation of parking problems in the vicinity of the school, particularly in Fairwater Drive and Kingfisher Drive, when parents are dropping-off and picking-up their children.

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